

Public Document Pack



DEVELOPMENT CONTROL COMMITTEE A	
DATE	Wednesday, 28 June 2017
PLACE	Council Chamber, Mid Suffolk District Council Offices, High Street, Needham Market
TIME	9.30 am

Please ask for: Committee Services
Direct Line: 01449 724673
Email: Committees@babberghmidsuffolk.gov.uk

The Council, members of the public and the press may record/film/photograph or broadcast this meeting when the public and press are not lawfully excluded. Any member of the public who attends a meeting and objects to being filmed should advise the Committee Clerk.

A G E N D A

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1 Apologies for absence/substitutions	
2 To receive any declarations of pecuniary or non-pecuniary interest by Members	
3 Declarations of lobbying	
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5 NA/17/1 Confirmation of the minutes of the meeting held on 3 May 2017	1 - 8
6 NA/17/2 Confirmation of the minutes of the Planning Referrals Committee held on 22 February 2017	9 - 12
7 To receive notification of petitions in accordance with the Council's Petition Scheme	
8 Questions by the Public	

The Chairman to answer any questions from the public of which notice has been given no later than midday three clear working days before the day of the meeting in accordance with Committee and Sub-Committee Procedure Rule 7.

9 Questions by Councillors

The Chairman to answer any questions on any matter in relation to which the Council has powers or duties which affects the District and which falls within the terms of reference of the Committee, of which due notice has been given no later than midday three clear working days before the day of the meeting in accordance with Committee and Sub-Committee Procedure Rule 8.

10 Schedule of planning applications

13 - 14

Note: The Chairman may change the listed order of items to accommodate visiting Ward Members and members of the public.

a 4010/16 - Kylee, Priory Road, Palgrave (Pages 15 - 62)

b 0019/17 - Land South of Gun Cotton Way, Stowmarket (Pages 63 - 142)

11 Site Inspection

Note: *Should a site inspection be required for any of the applications this will be held on Wednesday, 5 July 2017 (exact time to be given). The Committee will reconvene after the site inspection at 12:00 noon in the Council Chamber.*

Would Members please retain the relevant papers for use at that meeting.

Notes:

1. The Council has adopted a Charter on Public Speaking at Planning Committee. A link to the Charter is provided below:

<http://baberghmidsuffolk.moderngov.co.uk/documents/s4798/Charter%20on%20public%20speaking.pdf>

Those persons wishing to speak on a particular application should arrive in the Council Chamber early and make themselves known to the Officers. They will then be invited by the Chairman to speak when the relevant item is under consideration. This will be done in the following order:

- Parish Clerk or Parish Councillor representing the Council in which the application site is located
- Objectors
- Supporters
- The applicant or professional agent / representative

Public speakers in each capacity will normally be allowed 3 minutes to speak.

1. Ward Members attending meetings of Development Control Committees and Planning Referrals Committee may take the opportunity to exercise their speaking rights but are not entitled to vote on any matter which relates to his/her ward.

Members:

Councillor Matthew Hicks – Chairman – Conservative and Independent Group
Councillor Lesley Mayes – Vice Chairman – Conservative and Independent Group

Conservative and Independent Group

Councillors: Gerard Brewster
David Burn
Lavinia Hadingham
Diana Kearsley
David Whybrow

Liberal Democrat Group

Councillor: John Field

Green Group

Councillor: Anne Killett
Sarah Mansel

Substitutes

Members can select a substitute from any Member of the Council providing they have undertaken the annual planning training.

Ward Members

Ward Members have the right to speak but not to vote on issues within their Wards.

Mid Suffolk District Council

Vision

“We will work to ensure that the economy, environment and communities of Mid Suffolk continue to thrive and achieve their full potential.”

Strategic Priorities 2016 – 2020

1. Economy and Environment

Lead and shape the local economy by promoting and helping to deliver sustainable economic growth which is balanced with respect for wildlife, heritage and the natural and built environment

2. Housing

Ensure that there are enough good quality, environmentally efficient and cost effective homes with the appropriate tenures and in the right locations

3. Strong and Healthy Communities

Encourage and support individuals and communities to be self-sufficient, strong, healthy and safe

Strategic Outcomes

Housing Delivery – More of the right type of homes, of the right tenure in the right place

Business growth and increased productivity – Encourage development of employment sites and other business growth, of the right type, in the right place and encourage investment in infrastructure, skills and innovation in order to increase productivity

Community capacity building and engagement – All communities are thriving, growing, healthy, active and self-sufficient

An enabled and efficient organisation – The right people, doing the right things, in the right way, at the right time, for the right reasons

Assets and investment – Improved achievement of strategic priorities and greater income generation through use of new and existing assets ('Profit for Purpose')

Suffolk Local Code of Conduct

1. Pecuniary Interests

Does the item of Council business relate to or affect any of your/your spouse /partner's pecuniary interests?

Yes

Declare you have a pecuniary interest

Leave the room. Do not participate or vote (Unless you have a dispensation)

Breach = criminal offence

No

No interests to declare

2. Non-Pecuniary Interests

Does the item of Council business relate to or affect any of your non-pecuniary interests ?

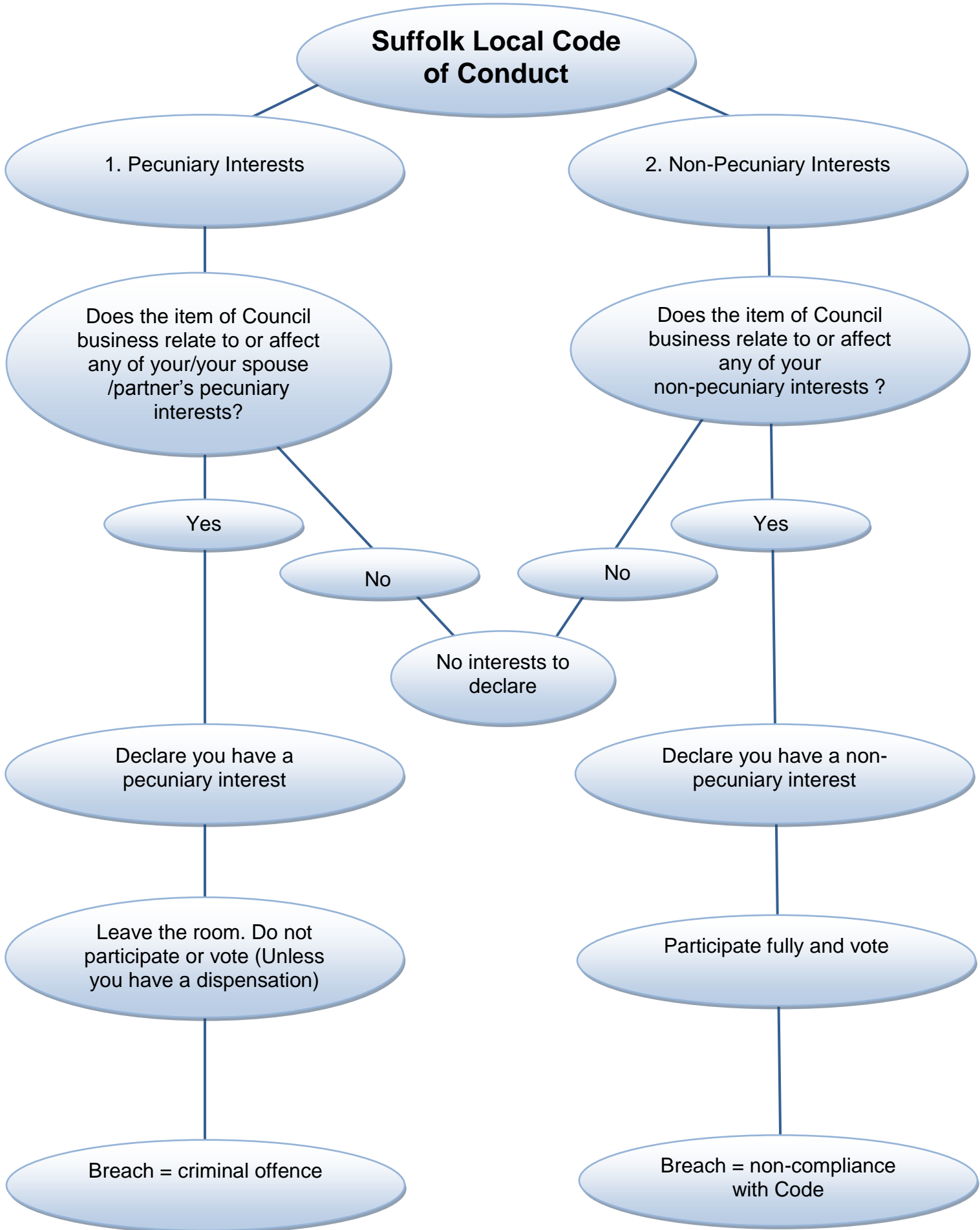
Yes

Declare you have a non-pecuniary interest

Participate fully and vote

Breach = non-compliance with Code

No



Agenda Item 5

NA/17/1

MID SUFFOLK DISTRICT COUNCIL

Minutes of the Meeting of the **DEVELOPMENT CONTROL COMMITTEE A** held at the Council Chamber, Mid Suffolk District Council Offices, High Street, Needham Market on Wednesday, 3 May 2017

PRESENT: Councillor: Matthew Hicks (Chairman)
Roy Barker*
Gerard Brewster
John Field
Lavinia Hadingham
Derrick Haley*
Anne Killett
Sarah Mansel
Lesley Mayes
David Whybrow

Denotes substitute*

Ward Members Councillor: Jessica Fleming
Suzie Morley
Derek Osborne

In Attendance: Senior Development Management Planning Officers (JPG/SS)
Development Management Planning Officers (JaPL/TS)
Legal Business Partner - Planning (JH)
Governance Support Officers (VL/HH)

154 **APOLOGIES FOR ABSENCE/SUBSTITUTIONS**

Councillors Derrick Haley and Roy Barker were substituting for Councillors David Burn and Diana Kearsley respectively.

155 **TO RECEIVE ANY DECLARATIONS OF PECUNIARY OR NON-PECUNIARY INTEREST BY MEMBERS**

Councillor Matthew Hicks declared a non-pecuniary interest in Application 4968/16 as the Suffolk County Councillor for the area and had attended a presentation of the application at the Parish Council Meeting.

All Members of the Committee declared a non-pecuniary interest in Application 0130/17 as the applicant was a Mid Suffolk District Councillor.

156 **DECLARATIONS OF LOBBYING**

It was noted that Members had been lobbied on Applications 3858/16 and 4968/16.

157 **DECLARATIONS OF PERSONAL SITE VISITS**

Councillor Matthew Hick declared a personal site visit to Application 3858/16.

158 **CONFIRMATION OF THE MINUTES OF THE MEETING HELD ON 5 APRIL 2017**

The Minutes of the meeting held on 5 April 2017 were confirmed and signed as a correct record.

159 **TO RECEIVE NOTIFICATION OF PETITIONS IN ACCORDANCE WITH THE COUNCIL'S PETITION SCHEME**

None received.

160 **QUESTIONS BY THE PUBLIC**

None received.

161 **QUESTIONS BY COUNCILLORS**

None received.

162 **NA/10/17 SCHEDULE OF PLANNING APPLICATIONS**

SCHEDULE OF PLANNING APPLICATIONS

Report NA/10/17

In accordance with the Council's procedure for public speaking on planning applications a representation was made as detailed below:

Planning Application Number	Representations from
3856/16	Michael Stephens (Objector) Elved Harvey (Applicant) Tim Waller (Agent)
4968/16	Pauline Ivatt (Applicant)

Item 1

Application Number: **3856/16**
Proposal: Application for Outline Planning Permission for residential development of up to 42 new dwellings, supporting infrastructure and Access (Highway & pedestrian). (Appearance, Landscaping, Layout & Scale being the subject of a further Reserved Matters application)

Site Location: **RICKINGHALL SUPERIOR** – Land adjacent to Green Acres, Garden House Lane, IP22 1EA

Applicant: Mr J Harvey

The Case Officer presented the application and informed Members that 37 objections had been received on the application. He then responded to questions from Members and explained that Suffolk County Council Highway Department had no objections to the application, as the impact on the highway was not considered severe. Members continued to question the Officer and he responded that landscaping and tree protection was a condition in the recommendations and that no response had been received from the Ramblers' Association. He also said that the builder's yard at the end of Garden House Lane was still operational.

The Senior Development Management Planning Officer clarified to Members that a proposed footpath was recommended to be secured by way of a Grampian condition. He advised that although the site was in the countryside it was located in proximity to Rickinghall and Botesdale and therefore services and facilities were pedestrian accessible. He further clarified the status of Key Service Centres in the Core Strategy and NPPF. It was noted that the Rickinghall Neighbourhood Plan was at an early stage of development and therefore carried little weight.

Mr Michael Stephens, Objector, said he believed the development, which was on agricultural land, was not sustainable. He said that the access at the junction from Garden House Lane onto The Street was unsafe, and he referred to the response received from Suffolk Constabulary. He said that Garden House Lane was narrow and was currently accessed by 190 properties, and that the development would increase this by a further 20%. He felt an increase in traffic would not only increase the risk of accidents, but also make it difficult for emergency vehicles to access and he referred to the report from Suffolk Fire and Rescue Services included in the Tabled Papers. He felt that not enough consideration had been given to the advice received from Suffolk County Council Highways Authority and Suffolk Fire and Rescue Services.

Mr Tim Waller, the Agent, said the development was sustainable and that 35% of the development would be affordable houses, which would benefit local families and first time buyers. The development also contained bungalows benefitting those who were down-seizing. There was a public footpath to facilities in the adjacent village of Botesdale and a new bus stop was planned. He also said that the primary school had capacity for additional children. Mr Waller said that there was no flood risk and that the site would improve wildlife with a suitable planting scheme. The junction at the end of Garden House Lane was working within a wider capacity and double yellow lines would be painted along Garden House Lane.

Councillor Jessica Fleming, Ward Member, felt the application was flawed because the highway access was inadequate and the overall plan of development for the village had not been taken into consideration. She felt that the Neighbourhood Plan should be taken into account once it was completed. Councillor Fleming had written to Mid Suffolk District Council and objected against the development conditions. She said that on-road residential parking would be lost if a foot path along Garden House Lane was implemented. She said that Garden House Lane was a narrow lane and that there was no alternative access to the site for contractors' vehicles, future residents or emergency vehicles. Councillor Fleming said that further development along Garden House Lane should be postponed until the Neighbourhood Plan was in place.

Councillor Derek Osborne, Ward Member said he agreed with Councillor Fleming's comments. The road was very narrow reducing to 10 feet in places. Cars using the road for parking belonged to existing residents and the situation would be exacerbated by the additional cars from the development. There had already been many near misses at the junction with The Street and if the application was approved this danger would increase. He suggested a site visit would be helpful to Members in coming to a decision.

Members debated the application and some felt that safety was paramount to the application and that a site visit to view the access would be the best way forward. Other Members felt that the concerns raised including sustainability, flood risk, preservation of trees, and the increased traffic on Garden House Lane were all resolved and that the additional dwellings would be a benefit to Rickinghall and Botesdale.

Councillors Derrick Haley and Sarah Mansel proposed and seconded the motion for a site visit.

The motion was lost by 4 votes to 6.

Councillors David Whybrow and John Field proposed and seconded the recommendations in the report.

By 6 votes to 4

Decision – Approved as per recommendations with addition of landscaping and all SCC Highway conditions recommended (18th April 2017)

(1) That the Corporate Manager for Growth and Sustainable Planning be authorised to secure a planning obligation under Section 106 of the Town and Country Planning Act, 1990, to provide:-

- 35% Affordable Housing
- £6,000 Bus Stop Improvements

(2) That, subject to the completion of the Planning Obligation in Resolution (1) above, the Corporate Manager for Growth and Sustainable Planning be authorised to grant Planning Permission subject to conditions including: -

- Time limit for reserved matters (standard)
- Definition of reserved matters
- Approved plans
- Quantum of residential development fixed to a maximum of 42 no. dwellings
- Details of surface water drainage scheme
- Details of implementation, maintenance, and management of surface water drainage scheme
- Details of sustainable urban drainage system components and piped networks
- Details of construction surface water management

- Programme of archaeological investigation and post investigation assessment
 - Fire hydrant provision details
 - Details of mitigation for farmland birds
 - Development to be completed in accordance with ecology details
 - Proposed levels and finished floor levels details
 - External facing materials details
 - Hard landscaping scheme (inc. boundary treatments and screen/fencing details)
 - Soft landscaping scheme including identification of existing trees and planting and tree protection measures
 - Details of provision, future management, and maintenance of public open space
 - Details of the proposed access
 - Parking, maneuvering, and cycle storage details
 - Details of a construction management plan
 - Photographic condition survey
 - Details of the areas to be provided for storage of refuse/recycling
 - Surface water discharge prevention details
 - Estate roads and footpaths details and implementation requirements
 - Details of footway on the south side of Garden House Lane
 - Construction of carriageways and footways prior to occupation
- (3) That, in the event of the Planning Obligation referred to in Resolution (1) above not being secured the Corporate Manager for Growth and Sustainable Planning be authorised to refuse Planning Permission, for reason(s) including:-
- Inadequate provision of infrastructure contributions which would fail to provide compensatory benefits to the sustainability of the development and its wider impacts, contrary to the development plan and national planning policy.

Item 2

Application Number: **4968/16**

Proposal: Notification for prior approval for a proposed change of use of agricultural building to a dwelling (Class C3) and for associated operational development.

Site Location: **CREETING ST MARY** – Land to the rear of 1 Red House, all Saints Road.

Applicant: Mrs P Ivatt

The Case Officer explained that on page 93, paragraph 20, bullet point ‘f’ was deliberately omitted as this point did not apply to the application.

The Senior Development Management Planning Officer said that the Suffolk County Council Highway Department report considered the lack of visibility and access onto All Saint's Road a risk and had not changed their opinion following receipt of the independent consultant's report.

Mrs P Ivatt, the applicant, said she had lived in the village for 17 years and that her application was fully supported by the Parish Council and the residents of Creeting St. Mary. She said there had never been an accident caused by the access onto the main road and that the speed limit was 30mph. The driveway was already shared by three dwellings and the change of use of the building would not increase vehicle movements but would in fact result in small domestic vehicles rather than large farm vehicles using the access. She said an independent highway and traffic survey had been carried out, which was available to Members. Mrs. Ivatt said the proposal was for a two bedroom bungalow, which was to be environmentally friendly.

Councillor Suzie Morley, Ward Member, said she had driven down All Saints Road many times and never seen any vehicle accessing All Saints Road from the driveway. She felt that there was no risk as the speed limited on All Saint's Road was 30mph and speeding was not a planning issue but a police matter. Councillor Morley said she supported the application.

Members agreed that the access road had been used for a long time and that the change of use of the building did not change the amount of traffic using the driveway. Members felt that the access onto All Saint's Road was not a considerable risk and that the independent Traffic and Highway report supported this. Officers informed Members that this report had measured the average speed of traffic at the junction to be 26mph.

By an unanimous vote

Decision – **That Prior Approval is approved.**

Item 3

Application Number:	0130/17
Proposal:	Installation of a metal energy panel on recessed par to external wall.
Site Location:	NEEDHAM MARKET – 137 High Street.
Applicant:	Mrs W Marchant

Councillor John Field left the room at 12.00 noon.

The Case officer presented the application and said the impact on the listed building was considered very low.

The Chairman read an email from Ward Member Mike Norris, who supported the application.

Members considered various issues including the impact and the harm to the listed building and the opposite buildings. Some Members felt that the environmental benefits of the application did not outweigh the harm. It was generally felt that the application did not have a negative impact on the Grade II listed building.

By 8 votes to 0, 1 abstention

Decision – That authority be delegated to the Corporate Manager – Growth & Sustainable Planning to Grant Listed Building Consent

Condition recommended: Time Limit – Commencement

The business of the meeting concluded at 12:12pm

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Chairman

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MID SUFFOLK DISTRICT COUNCIL

Minutes of the Meeting of the **MID SUFFOLK PLANNING REFERRALS COMMITTEE** held at the Council Chamber - Council Offices, Needham Market on Wednesday, 22 February 2017

PRESENT:

Councillor: Matthew Hicks (Chairman)

Councillors:	Roy Barker	John Levantis
	Gerard Brewster	Sarah Mansel
	David Burn	Lesley Mayes
	John Field	Dave Muller
	Jessica Fleming	Mike Norris
	Kathie Guthrie	Keith Welham
	Lavinia Hadingham	

Ward Member Suzie Morley

In attendance: Senior Development Management Planning Officer (JPG)
Senior Legal Executive (DK)
Governance Support Officers (LS/HH)

17 **APOLOGIES FOR ABSENCE**

An apology for absence was received from Councillors Julie Flatman, Barry Humphreys MBE, Diana Kearsley, Anne Killett, Jane Storey, David Whybrow.

18 **TO RECEIVE ANY DECLARATIONS OF PECUNIARY OR NON-PECUNIARY INTEREST BY MEMBERS**

There were no declarations of pecuniary or non-pecuniary interests.

19 **DECLARATIONS OF LOBBYING**

It was noted that the following Councillors had been lobbied on application 3172/16:

Roy Barker, Gerard Brewster, David Burn, John Field, Jessica Fleming, Lavinia Hadingham, Sarah Mansel, Lesley Mayes, David Muller, Mike Norris and Keith Welham.

20 **DECLARATIONS OF PERSONAL SITE VISITS**

There were no declarations of personal site visits.

21 **TO RECEIVE NOTIFICATIONS OF PETITIONS IN ACCORDANCE WITH THE COUNCIL'S PETITION SCHEME**

22 **QUESTIONS BY THE PUBLIC**

None received.

23 **QUESTIONS BY COUNCILLORS**

None received.

24 **RF/01/17 SCHEDULE OF PLANNING APPLICATIONS**

Report RF/01/17

In accordance with the Council's procedure for public speaking on planning applications representations were made as detailed below:

Application Number	Representations From
3172/16	Phil Cobbold (Agent)

Application Number:	3172/16
Proposal:	Demolition of derelict buildings and erection of detached building
Site Location:	STONHAM PARVA – Barns at Four Elms Farm, Norwich Road
Applicant:	Mr P Watson

The application had been considered by Development Control Committee B on 25 January 2017 when Members were minded to approve the application contrary to Officer recommendation and Council Policy. The Chairman had then used her discretion to refer the application to the Planning Referrals Committee.

The Senior Planning Officer outlined the reasons for the Officer's recommendation for refusal as follows in summary:

- The application was not a sustainable development, as the proximity to the nearest services and facilities were further than the maximum requirement for reasonable walking access of 1200 metres. It was therefore likely that the use of a car would be required
- The application did not support sustainability as required by the NPPF Policies and the local planning authorities were to avoid building new isolated homes in the countryside unless there were special circumstances

Members questioned the Officer and it was confirmed that the granted application 0101.10 was extant, and that the site contained derelict buildings on agricultural land.

Phil Cobbold, the Agent, confirmed that the 2010 application was still extant and initial work had been undertaken. Mr Cobbold informed Members that in accordance with paragraph 29 of the NPPF the usage of a private vehicle could be allowed if the plans to replace derelict existing buildings outweighed the benefit of a sustainable development. He felt that the creation of a new family home would add to the value to the existing settlement and a single dwelling would generate less activity than the previously granted application for offices.

Councillor Suzie Morley, Ward Member, reiterated the Agent's comments and added that the site was dangerous. Councillor Morley felt that a family home would not only support the local community, but also the school in need of more children.

At this point, there was a short adjournment to collect and distribute hard copies of the Tabled Papers, which were then presented by the Senior Development Management Planning Officer regarding the criteria for the grant of planning application for similar sites.

Mr Cobbold, the Agent after having had the opportunity to look at the Tabled Papers, urged caution with regard to the analysis of the data presented and that the distance to the settlements was misguided.

Members debated the application and clarified various issues including the use of a private vehicle for access to local facilities and the availability of a footpath to the nearest village. It was felt by some Members that the improved visual impact on the surrounding settlement by removing the derelict buildings and erecting a new dwelling were to be preferred instead of the previously approved offices, whilst some Members considered offices to be better for the local community and businesses. The proximity to the existing settlement was not considered to be close, and the access to a local bus service did not guarantee the use thereof. The setting of precedence for future applications was raised by several Members. However, it was generally felt that the application would contribute to the local community and that effect of the carbon footprint generated by occupants of a single dwelling was preferred to that of occupants of office buildings. It was also considered that the prior approval for conversion to offices carried weight as the principle of conversion was established.

The motion to approve the application was proposed and seconded.

Contrary to Officer recommendation Members agreed to approve the proposal by reason of:

- *Previously approved office development that can be completed to be of significant material weight in this case.*
- *Frontage to A140 to represent low carbon footprint in terms of access routing to services.*

- *Small contribution to viability of both settlement (Stonham Parva) and its school.*

By 9 votes to 5

Decision – That the Professional Lead - Growth and Sustainable Planning be authorised to grant planning permission, subject to conditions including:

- Standard time limit
- Approved plans
- Removal of permitted development for outbuildings and extensions (due to location in the landscape and listed building opposite)
- Protective fencing condition
- SCC highways conditions
- Materials to be agreed

The business of the meeting was concluded at 4:15 p.m.

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Chairman

Agenda Item 10

NA/17/3

MID SUFFOLK DISTRICT COUNCIL

DEVELOPMENT CONTROL COMMITTEE A

SCHEDULE OF APPLICATIONS FOR DETERMINATION BY THE COMMITTEE

Item	Ref No.	Location And Proposal	Ward Member	Officer (Full)	Page No.
1.	4010/16	<u>Kyloe, Priory Road, Palgrave</u> Outline – 5 dwellings and new access	Cllr David Burn	Alex Scott	
2.	0019/17	Land South of Gun Cotton Way, Stowmarket, Erection of six commercial units for B1 or B8 business units.	Cllr Dave Muller Cllr Barry Humphreys MBE Cllr Gary Green	Rebecca Biggs	

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Committee Report

Committee Date: 28 June 2017

Item No: 1

Reference: 4010/16

Case Officer: Alex Scott

Description of Development: Application for Outline Planning Permission – Erection of 5 no. dwellings and garages and construction of new vehicular access.

Location: Kyloe, Priory Road, Palgrave, IP22 1AJ

Parish: Palgrave

Ward: Palgrave

Ward Member: Cllr D. Burn

Site Area: 0.46 ha

Conservation Area: Not in Conservation Area

Listed Building: Not Listed

Received: 23/09/2016

Expiry Date: 19/11/2016

Application Type: Outline Planning Application

Development Type: Dwellings - Residential

Environmental Impact Assessment: N/A

Applicant: Mr & Mrs B. Dorling

Agent: Philip Cobbold Planning Consultancy

DOCUMENTS SUBMITTED FOR CONSIDERATION

The application, plans and documents submitted by the Applicant can be viewed online. Alternatively, a copy is available to view at the Mid Suffolk District Council Offices.

SUMMARY

The proposal has been assessed with regard to adopted development plan policies, the National Planning Policy Framework and all other material considerations. The officers recommend approval of this application.

The scheme will contribute towards meeting the housing needs of the area and will not give rise to significant adverse impact on health and quality of life. The proposal therefore accords with local and national planning policies.

PART ONE – REASON FOR REFERENCE TO COMMITTEE

The application is referred to committee for the following reason/s:

- at the request of Councillor Burn

PART TWO – APPLICATION BACKGROUND

This section details history, policies, advice provided, other legislation and events that form the background in terms of both material considerations and procedural background.

History

2. No relevant planning history.

Details of Previous Committee / Resolutions

3. None

Details of Member site visit

4. None

Details of any Pre Application Advice

5. The applicant engaged in pre-application advice and was advised by your officers that the principle of new housing development on the site may likely be viewed as acceptable subject to (in particular) no material impacts with respect of biodiversity, land contamination, highway safety.

PART THREE – ASSESSMENT OF APPLICATION

Consultations

6. The following responses have been received from consultees:

Palgrave Parish Council: Strongly Objects and Recommend Refusal:

- Proposal does not represent sustainable development (sustainability statement provided);
- Palgrave was originally scheduled for 0 houses in the local plan however various larger scale developments have been built since 1998 and 27 dwellings have been granted planning permission in Palgrave since January 2016;
- The site is a long way from the nearest service centre of Diss;

- Palgrave does not have local employment opportunities and future occupants would have to travel to Diss or further afield in order to find employment;
- Sites should be assessed through a strategic allocations process before speculative applications are considered;
- Concern with regards impact of a succession of smaller planning permissions on the capacity and future demand of the Village School;
- Concern with regards Palgrave's lack of other services and facilities such as public open space;
- The proposal contradicts the recent Housing White Paper which will reduce speculative development, and support development that preserves communities' character and protects the countryside;
- Concern with regards the proposal's impact on a nearby listed building known as "Pell Howell";
- Concern with regards the new access, visibility splays and highway safety;
- Note that proposed access is not within the village 30mph speed limit – concern with regards highway safety;
- The site contains a large pond that is spring fed – therefore concern with regards foul and surface water disposal from the site

SCC – Highways: Final comments dated 27/04/2017:

- Previous response, recommending refusal, now no longer valid due to additional speed survey information, and revised access visibility splay proposal, provided by the applicant;
- Conclude that intensification of use that the development would create can be facilitated without a detrimental impact on highway safety;
- Therefore, raise no objections subject to compliance with suggested conditions.

SCC – Archaeology: Comments Received:

- No grounds to consider refusal of permission in order to achieve preservation *in situ* of any important heritage assets;
- In accordance with paragraph 141 of the National Planning Policy Framework, any permission granted should be the subject of a planning condition to record and advance understanding of the significance of the heritage asset before it is damaged or destroyed.

MSDC – Heritage Team: Comments Received:

- Proposal would cause less than substantial harm to the setting of a nearby listed building ("Pell Howell");
- The NPPF expects great weight to be given to preserving designated assets from harm, and expects clear and convincing justification to be demonstrated, whether by public benefits which outweigh the harm or otherwise.

MSDC – Environmental Health – Land Contamination: Comments Received:

- Do not consider information submitted by applicant is sufficient in order to fully assess impacts of sources of land contamination on the proposed development;
- Proposal is of a scale that requires a full Phase 1 land contamination desk study and site walkover carried out by a suitably qualified individual.

EPS – Ecology: No objection to this development, subject to conditions to secure ecological mitigation and reasonable biodiversity enhancements.

Representations

7. Summary of neighbour and other representations

At the time of preparing this report, letters of representation have been received from a total of 9 no. third party sources in conjunction with the application making the following summarised objections:

- The proposal site is outside the Village settlement boundary and would extend into a green space which provides valuable habitat for wildlife and environmental benefits;
- The proposal site is the least suitable location in Palgrave Village and has no services, is not close to amenities, is on an inadequate road and has no connecting footway;
- Palgrave cannot support more houses, the school is full and there are no other facilities, other than a social community centre;
- There is no capacity in the village primary school to accommodate the development;
- The proposal would impose additional pressure on Diss Health services;
- 21 houses have been built in the village since 2016, this is enough;
- The recent White Paper, “Fixing our broken housing market”, states that “local communities (should) decide where development should go”; given the response from the Parish Council and other neighbours, it is clear the community doesn’t want development on this site;
- Access from the narrow lane is dangerous;
- Visibility splays proposed are inaccurate;
- There are differences between carriageway edges as shown on the plan and the position on site;
- Concern that proposed access visibility splays would require the removal of boundary bank and hedging/trees;
- The proposal would destroy the country lane character;
- Concern that proposed visibility splays rely on land not within the applicant’s ownership and cannot, therefore, be achieved/secured;
- Concern for safety of pedestrians as there is no paved footway linking the site to the village centre and no way one could be provided;
- The proposed access lies outside of the Village 30mph speed limit zone;
- There is a blind bend just a few metres to the north of the proposed access;
- The existing road is single carriageway with passing places, not suitable to take increased traffic;
- The lane has become a “rat run” for some traffic to reach the main Diss-Bury road;
- The land is used by HGVs and Farm Traffic;
- The proposal would have a detrimental visual impact on this rural part of the village;

- The proposal would harm the setting of a listed building;
- There is a lack of environmental assessment with regards land contamination;
- The site can be boggy and waterlogged in winter – question means of land drainage;
- Drainage is very poor in the area and there is no mains drainage;
- Proposal will affect wildlife – Owls, hares, voles, frogs, toads, deer, herons, bats, woodpeckers and hedgehogs have been seen on site;
- The site contains a natural pond and building which would result in the destruction of rare animals such as newts;
- The proposal would affect a neighbour's right of way to access land.

The Site and Surroundings

8. The application site extends to 0.46 hectares of existing pastoral land located to the north-east side of Priory Road abutting the southern edge of the settlement boundary of the village of Palgrave.

To the north-west of the site lies an existing residential property, comprising a single-storey detached dwelling known as Kyloe, to the north-east of the site lies an enclosed meadow, to the south-east lie open agricultural fields, and the Priory Road public highway runs adjacent to the south-west site boundary.

The site comprises an area of un-kept grassland with a large pond to the north-east corner. Established tall tree and hedge lines to the south-west highway, and south-east, field boundaries.

The site has an existing access to Priory Road to its north-west corner.

The site lies outside of the Palgrave conservation area, which lies approximately 147 metres to the north-west of the site, however a listed building known as Pell Howell, lies in closer proximity, approximately 27 metres to the north-east of the site.

The site lies within an area of high archaeological interest recorded in the County Historic Environment Record.

The site lies outside of the Waveney Valley Special Landscape Area which lies approximately 200 metres to the south-east.

The site lies completely within Environment Agency Flood Zone 1 and the nearest Zones 2 and 3 lies approximately 200 metres to the south-east.

The Proposal

9. The application seeks outline planning permission, with all matters reserved apart from access, for the erection of 5 no. dwellings and garages on the site, and for the construction of a new vehicular access onto Priory Road.

NATIONAL PLANNING POLICY FRAMEWORK

10. The National Planning Policy Framework (NPPF) contains the Government's planning policies for England and sets out how these are expected to be applied.

Planning law continues to require that applications for planning permission are determined in accordance with the Development Plan unless material considerations indicate otherwise. The policies contained within the NPPF are a material consideration and should be taken into account for decision-making purposes.

PLANNING POLICIES

11. The development Plan comprises the Mid Suffolk Core Strategy 2008, Core Strategy Focused Review 2012 and saved policies in the Mid Suffolk Local Plan 1998. The following policies are applicable to the proposal:

MID SUFFOLK CORE STRATEGY 2008 AND FOCUSED REVIEW 2012

12.

- CSFR-FC1 Presumption in favour of sustainable development
- CSFR-FC1.1 Mid Suffolk approach to delivering Sustainable Development
- CS1 Settlement Hierarchy
- CS3 Reduce Contributions to Climate Change
- CS4 Adapting to Climate Change
- CS5 Mid Suffolk's Environment
- CS6 Services and Infrastructure
- CS9 Density and Mix

NEIGHBOURHOOD PLAN/SUPPLEMENTARY PLANNING DOCUMENTS/AREA ACTION PLAN

13. None

MID SUFFOLK LOCAL PLAN 1998

14.

- GP1 Design and layout of development
- HB1 Protection of historic buildings
- HB14 Ensuring archaeological remains are not destroyed
- H3 Housing development in villages
- H13 Design and layout of housing development
- H15 Development to reflect local characteristics
- H16 Protecting existing residential amenity
- H17 Keeping residential development away from pollution
- CL8 Protecting wildlife habitats
- T9 Parking Standards
- T10 Highway considerations in development

PLANNING GUIDANCE

15.

- Suffolk Guidance for Parking – Technical Guidance 2014 (as amended)

Main Considerations

16. From an assessment of relevant planning policy and guidance, representations received, the planning designations and other material issues the main planning considerations considered relevant to this case are set out including the reason/s for the decision, any alternative options considered and rejected.

The Principle of Development and Sustainability

17. It is noted that the Parish Council and other third party representations raise significant concerns with regards to the sustainability of the site, particularly with regard to;

- The requirements of the NPPF to be taken as a whole;
- That the employment generated by the construction would be only a short term gain and Sustainability is long term;
- The development would not support existing local services and facilities, which are limited, and local Primary School and Health Services are already at capacity;
- There is no identified need for new dwellings in the village. The only need is for affordable houses, which are not provided in the development;
- The proposal does not meet the environmental role. The lack of existing walking and cycling into the village does not support claims that this would occur here;
- There is little employment in the village;
- Palgrave Parish Council considers that sites should be assessed through a strategic allocations process before speculative applications are considered;
- The approval of sites outside other settlements does not provide a precedent;
- The details cannot be fully considered when dealing with an outline application.

Paragraph 49 of the NPPF states that:

"Relevant policies for the supply of housing should not be considered up-to-date if the local planning authority cannot demonstrate a five-year supply of deliverable housing sites."

Mid Suffolk District Council does not have this housing land supply at this time and, as such, the Council's housing supply policies are not considered to be up to date and not, therefore, to carry due weight when assessing the principle of development.

Paragraph 14 of the NPPF states in this respect:

"For decision-taking this means:

approving development proposals that accord with the development plan without delay; and

where the development plan is absent, silent or relevant policies are out of date, granting permission unless:

any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole; or specific policies in this Framework indicate development should be restricted"

In light of this, as the development plan is considered out of date in terms of the Council's housing supply policies, it is necessary to consider that, nevertheless, the NPPF requires that development be sustainable and assess whether the adverse impacts outweigh the benefits when considered in the whole.

Paragraph 7 of the NPPF sets out three dimensions for sustainable development, economic, social and environmental:

"an economic role – contributing to building a strong, responsive and competitive economy, by ensuring that sufficient land of the right type is available in the right places and at the right time to support growth and innovation; and by identifying and coordinating development requirements, including the provision of infrastructure:

a social role – supporting strong, vibrant and healthy communities, by providing the supply of housing required to meet the needs of present and future generations; and by creating a high quality built environment, with accessible local services that reflect the community's needs and support its health, social and cultural well-being; and

an environmental role – contributing to protecting and enhancing our natural, built and historic environment; and, as part of this, helping to improve biodiversity, use natural resources prudently, minimise waste and pollution, and mitigate and adapt to climate change including moving to a low carbon economy."

The Parish Council have considered these elements in detail, providing reasoning as to why this site is not considered to be sustainable. Taking first the issues which are not fundamentally sustainability issues, the previous permissions granted since January 2016 are a material consideration in this application and cannot be disregarded solely because the Parish Council consider they were not robustly made (a claim that is disputed in any event). Furthermore, the issue of precedent is one that holds little weight in the determination of this application, the proposal should be taken on its own merits.

The application site is considered to lie within the existing settlement pattern of Palgrave, which is a secondary village which benefits from a primary school and church as well as a social community centre. It is not disputed that the site does not benefit from a footpath link to the centre of the village. However, neither do any of the existing properties on Priory Road and pedestrians are observed to regularly use this as a shared surface with the ability to walk to the adjacent public footpaths accessing the countryside beyond. With no settlements, services and facilities or public footpaths to the south of the site pedestrians would head north from the application site, within the existing 30mph speed limit and the development would result in only a marginal increase in pedestrian traffic along the highway when compared to the existing situation.

Whilst the village lacks services and facilities there is a regular bus service available to the nearby sustainable centre of Diss, and its railway station, at such times as to be viable for employment purposes. Villages are, by their very nature, a mixture of people of varying characters and natures, whereby what does or doesn't work for one may be entirely appropriate for another. In this regard, the distances to facilities and services are not such that would be entirely unreasonable for people to access via public transport, cycle or even walking.

As such, the proposal is considered to represent sustainable development with regards to access to services despite the lack of footpath to the centre of the village.

With regards to a need for dwellings local to Palgrave itself, the development would deliver 5 no. new dwellings which would contribute to the wider supply of housing. The Council could not sustain a refusal of planning permission solely on the basis of their being no locally identified need in the village, particularly in the absence of a five year supply of deliverable land overall.

The provision of employment during the construction period would provide a short term economic gain. Whilst this does not weigh heavily in favour of the development, and therefore should be given little weight, it also does not result in any adverse impact to the economy, indeed it is considered that an increased population base would provide a greater catchment and more opportunities for local business growth as a result.

It is acknowledged that the proposed development would meet a social role as required by the NPPF by providing new family homes that would serve to support and grow local services and facilities.

In conclusion, it is acknowledged that the Parish have concerns regarding the sustainability of the development relative to the NPPF and these have been taken into account when considering this proposal. However, it is not considered that the proposal conflicts with the NPPF to such an extent that would justify refusal of the application. Occupiers of the development would have access to a range of facilities and services via alternative means of transport, the development would not be isolated despite its position outside the settlement boundary and would therefore provide sustainable development in accordance with the NPPF when taken as a whole.

Planning Obligations

18. The Community Infrastructure Levy (CIL), a new, fixed rate payment that the council can charge on new buildings in their area to off-set the impacts of additional homes and businesses on facilities such as roads, schools, open space and health centres (infrastructure) and to enable sustainable growth, is now implemented.

Section 106 legal agreements will also be used alongside CIL to secure on-site infrastructure and items that do not fall within the definition of infrastructure, such as affordable housing.

The Council adopted a CIL Charging Schedule on 21st January 2016. CIL will therefore be charged on all relevant planning permissions granted from 11th April 2016 in accordance with the current charging schedule.

It is considered that the proposed development would be liable for CIL charging.

It is not considered that the proposed development would require a contribution towards affordable housing delivery by reason of the number of proposed dwellings (being less than 10 no.).

Design and Impact on Landscape

19. Whilst no indicative layout has been provided with the application it is considered that the application site could comfortably accommodate the proposed number of

dwelling, spaces for the onsite turning and parking of vehicles, and a private residential garden.

Furthermore, it is not considered that the development would result in the loss of any trees or hedgerows of landscape significance and there is the opportunity to secure improved landscape planting by way of a detailed landscape scheme.

The plot would read as a continuation of the existing pattern of development and therefore there would not be reason to refuse the application on the basis of environmental harm.

Further details regarding the scale, form, design and layout of the proposed dwellings and landscaping thereof is expected to be submitted as part of a reserved matters application.

Impact on Heritage Assets

20. Setting of listed building(s)

The site lies to the south-west of 'Pell Howell' (listed as 'Fairways'), originally a farmhouse of late medieval origin which has been the subject of more recent alterations and extensions. This building is grade II listed.

The development of land surrounding 'Pell Howell' since the 1700s has seen the building being flanked by more modern buildings in a broadly linear pattern along Priory Road. The grounds of The Priory, across the road have also been built over. The building's setting has therefore evolved through time and the sense of its isolated rural origin has, therefore, already been eroded somewhat.

The application site lies to the south-west of the building and development of this land would follow a similar broadly linear pattern of development, along Priory Road in a similar character to how the building's setting has already evolved through time.

The Council's Heritage Team and the Suffolk Preservation Society have assessed the application proposal and have concluded that the proposal would result in less than substantial harm to the setting of 'Pell Howell' by reason that the development would result in further loss of undeveloped land in the vicinity of the building. Their assessment concludes that a full and detailed application is required to fully assess the impact of development on the heritage asset before a robust assessment can be made.

Paragraph 134 of the NPPF states that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal.

It is considered that the long term social benefits of providing new family homes that would serve to support and grow local services and facilities and contribute to the wider supply of housing, and to a lesser extent result in short term economic benefits during the construction phase(s), would outweigh the environmental dis-benefits and the less than substantial harm identified to the setting of the heritage asset.

Further opportunities to secure a design and layout appropriate to the building's setting will be taken at a reserved matters stage.

Archaeology

21. The application site lies within an area of high archaeological interest recorded in the County Historic Environment Record. The development site is located on the edge of the historic settlement core of Palgrave and scatters of Saxon and medieval finds have been recorded in its vicinity. As a result, there is a strong possibility that heritage assets of archaeological interest will be encountered at his location. Any groundworks causing significant ground disturbance have potential to damage any archaeological deposit that exists.

The County Archaeological unit have been consulted on the application and have advised that there are no grounds to consider refusal of permission in order to achieve preservation in situ of any important heritage assets. County archaeologists advise that, in accordance with paragraph 141 of the NPPF, any permission granted should be the subject of a planning condition to record and advance understanding of the significance of and buried heritage assets which may exists before they are damaged or destroyed.

Site Access, Parking And Highway Safety Considerations

22. Following an initial recommendation of refusal from the local highway authority the applicant has provided further information in the form of a revised proposed access layout and an 8 day speed survey, carried out in two locations to the north and south of the proposed access location. A full re-consultation process was carried out on receipt of the further information received.

The local highway authority's formal response, on the basis of the further information received, concluded that, should suggested conditions be complied with, the intensification of use that the development would create can be facilitated without a detrimental impact on highway safety.

Should the proposed access and visibility splays onto the highway be provided as proposed, as per paragraph 32 of the NPPF therefore, the proposal is not considered to result in a severe impact on highway safety.

Further details regarding the proposed layout and on-site turning and parking provision for vehicles is expected to be submitted as part of a reserved matters application which will require further assessment in this regard.

Impact on Residential Amenity

23. The proposed dwellings would be a minimum distance of 26 metres from the nearest existing neighbouring dwelling (if proposed right up against the north-east site boundary). At this location it is considered unlikely that the presence of the proposed dwellings would adversely impact the amenities currently enjoyed by occupants of neighbouring properties.

Further details relating to the final siting, scale, form, design, and fenestration layout of the proposed dwellings are expected to be submitted as part of a reserved matters application. This will enable a more robust assessment of neighbouring impacts at this stage.

Flood Risk and Drainage

24. The application site lies completely within Environment Agency Flood Zone 1 and the nearest Flood Zones 2 and 3 lie a significant distance to the south of the site, at lower ground levels. The proposal site is not, therefore, considered to be a significant risk of flooding from tidal or fluvial sources.

The applications forms indicate that foul drainage from the site will be via mains drainage and that the opportunity will be taken to dispose of surface water via a sustainable drainage system. Further details of the precise means of water disposal from the site is required by way of condition.

Environmental Impacts – Land Contamination

25. The applicant has provided a desk based land contamination report with the application, carried out by a suitably qualified organisation in September 2016. The report concludes that the property is unlikely to be designated "contaminated land" within the meaning of Part 2A of the Environmental Protection Act 1990.

It is accepted that, by reason of the scale of the development proposed, that further intrusive land contamination investigation will be required, and any required mitigation carried out, prior to commencement of development. Such further investigation and mitigation will be secured by way of condition.

Biodiversity and Protected Species

26. In assessing this application due regard has been given to the provisions of the Natural Environment and Rural Communities Act, 2006, in so far as it is applicable to the proposal and the provisions of Conservation of Habitats and Species Regulations, 2010 in relation to protected species.

The applicant has provided an Ecological Appraisal with the application, carried out by a suitably qualified organisation.

The appraisal returned no record of: Badgers; Dormice; Great Crested Newts; Otters; Reptiles; Water Voles; or White-Clawed Crayfish within 500 metres of the application site. The appraisal also reports that the site does not provide suitable habitat for Skylarks, which require large open fields to avoid predators and avoid areas close to woods, hedgerows and other vertical structures such as the application site.

The appraisal did, however, return records of a Bat Roost within 500 metres of the site and records of nesting Birds and Hedgehogs on the site.

The appraisal concluded that should suggested biodiversity mitigation and enhancements be implemented then the proposal would not result in harm to any protected or priority species or their habitats.

The Council's Ecological Consultants at Essex Place Services have appraised the submitted ecological information and consider this to be adequate for determination of the application. EPS consider the development is likely to result in impacts on ecological features including Protected and Priority species however it can be made

acceptable with mitigation secured to minimise the impacts. EPS therefore raise no objection to the proposed development, subject to conditions being attached to any permission granted to secure ecological mitigation and biodiversity enhancements.

PART FOUR – CONCLUSION

Planning Balance and Assessment

27. When taken as a whole and as a matter of planning judgement, the proposal is considered to adhere to the development plan and NPPF and therefore can be considered sustainable development. There is a presumption in favour of sustainable development. The application is therefore recommended for approval.

Statement Required By Article 35 of The Town and Country Planning (Development Management Procedure) Order 2015.

28. When determining planning applications The Town and Country Planning (Development Management Procedure) (England) Order 2015 requires Local Planning Authorities to explain how, in dealing with the application they have worked with the applicant to resolve any problems or issues arising. In this instance the applicant has worked to address problems and has sought to resolve these wherever possible.

Identification of any Legal Implications of the decision

29. The application has been considered in respect of the current development plan policies and relevant planning legalisation. Other legislation including the following has been considered in respect of the proposed development.

- Human Rights Act 1998
- The Equalities Act 2012
- Town & Country Planning (Listed Buildings & Conservation Areas) Act 1990
- Natural Environment and Rural Communities (NERC) Act 2006 (any rural site)
- The Conservation of Habitats and Species Regulations 2010
- Localism Act
- Consideration has been given to the provisions of Section 17 of the Crime and Disorder Act, 1998, in the assessment of this application but the proposal does not raise any significant issues.

RECOMMENDATION

Grant Outline Planning Permission subject to conditions including:-

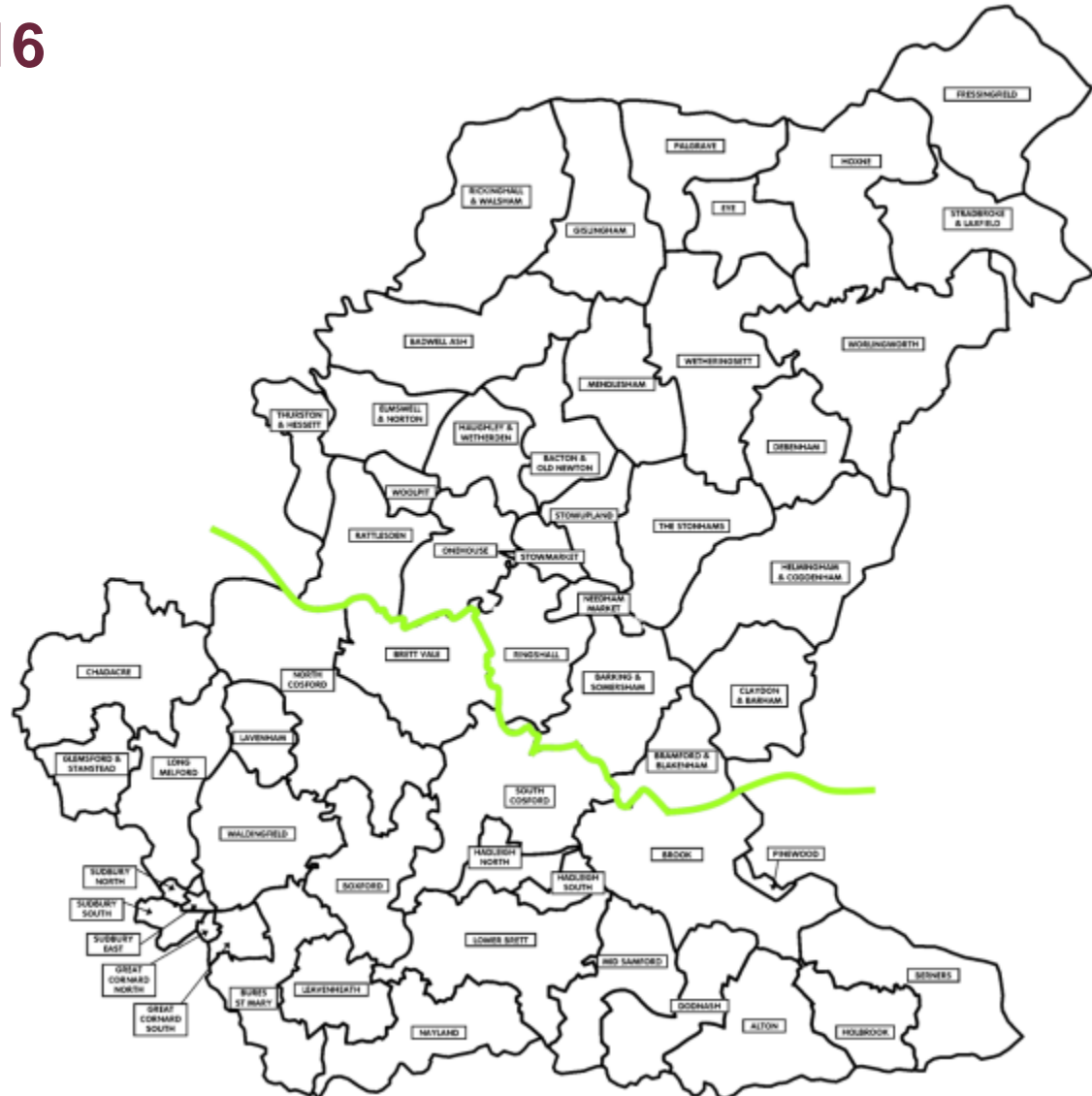
- 1) Reserved Matters Application Condition;
- 2) Time Limit for submission of reserved matters application and commencement;
- 3) Standard List of Approved Plans and Documents;

- 4) Land Contamination report and remediation prior to commencement;
- 5) Programme of Archaeological investigation and recording prior to commencement;
- 6) Details of surface water drainage
- 7) Those required by the Local Highway Authority;
- 8) Those required by the Council's Ecology Consultants;
- 9) Details of external materials and colours;
- 10) Landscaping Scheme and aftercare

Application No: 4010/16

**Address: Kyloe
Priory Road
Palgrave
IP22 1AJ**

Page 29





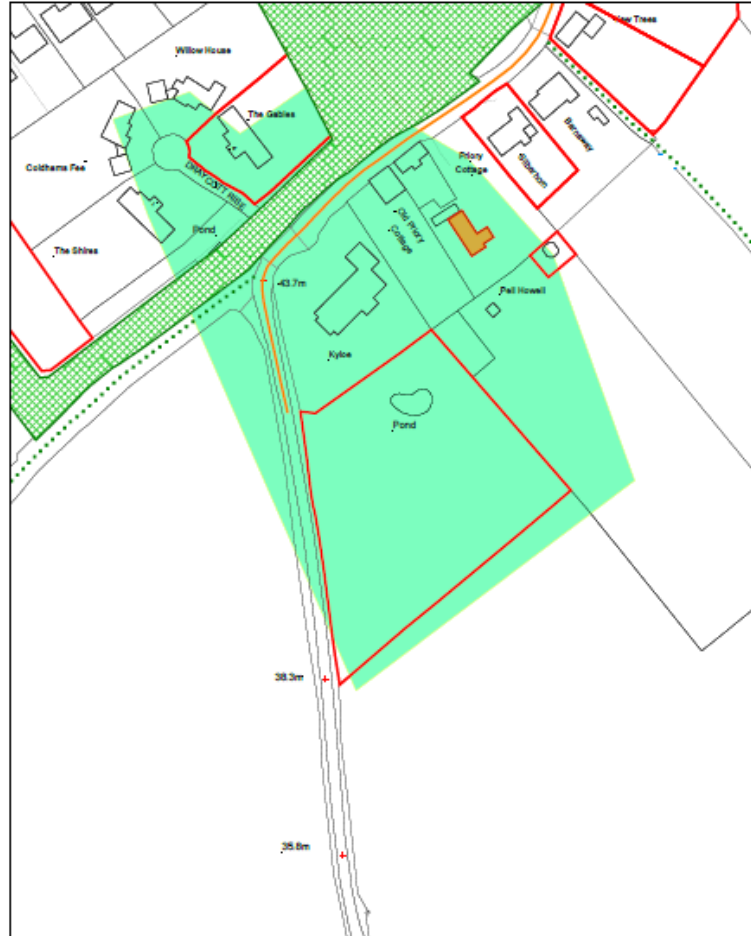
Verbal Updates:

- Confirmation and summary of any 3rd Party representations received not previously issued to members.
- Confirmation and summary of any consultee responses received not previously issued to members
- Confirmation of any changes to recommendation, conditions or reasons.

Site Location Plan



Constraints Map



Title: Neighbs Cons LBs TPO
 Reference: 4010/16
 Site: Kylow
 Priory Road Palgrave IP22 1AJ



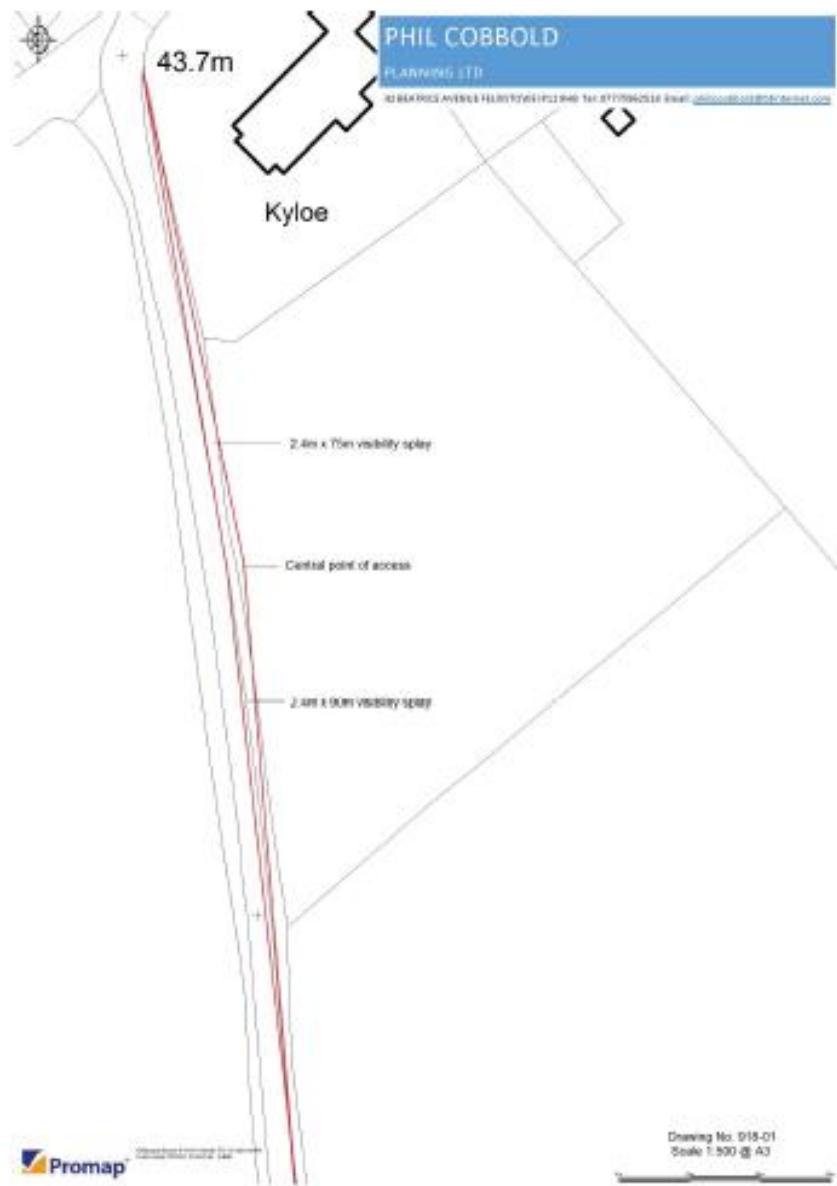
MID SUFFOLK DISTRICT COUNCIL
 131, High Street, Needham Market, IP6 8DL
 Telephone : 01449 724500
 email: customerservice@csduk.com
 www.midsuffolk.gov.uk



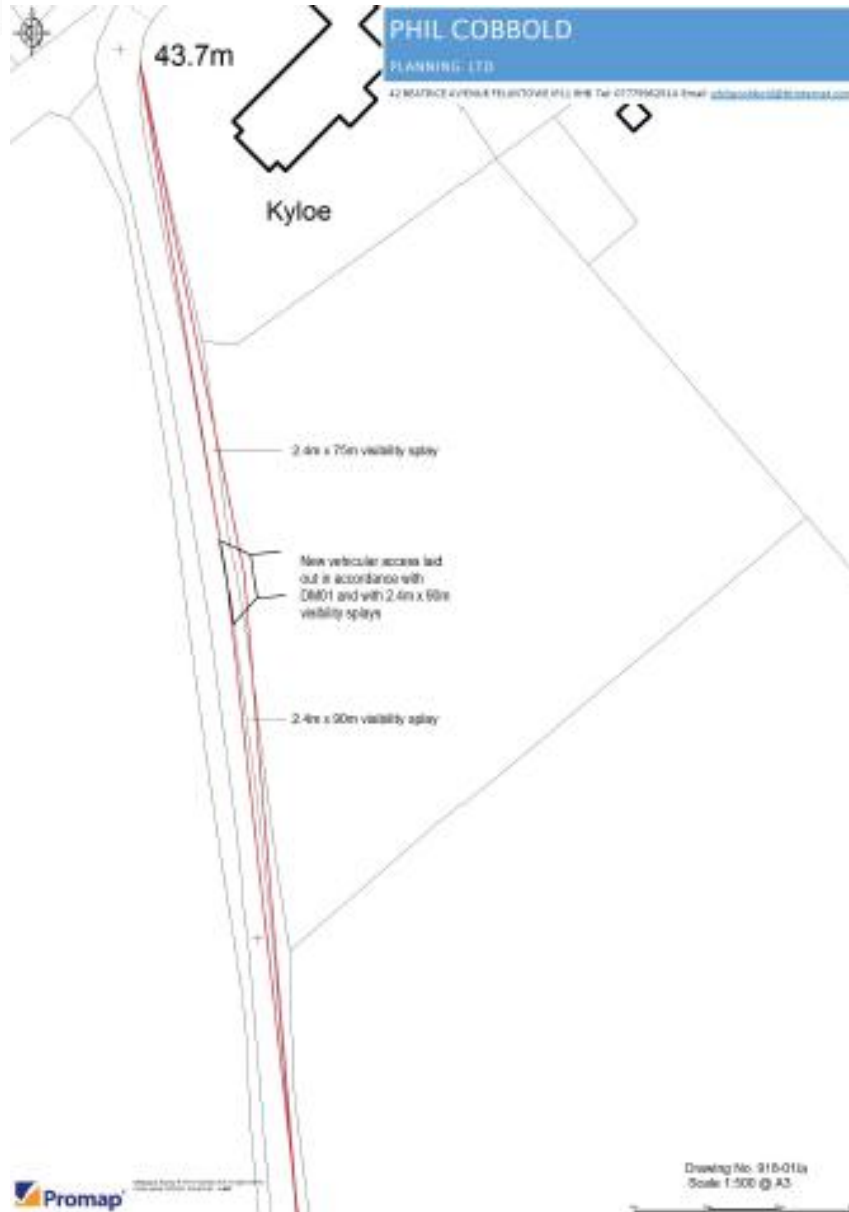
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Existing Access Plan

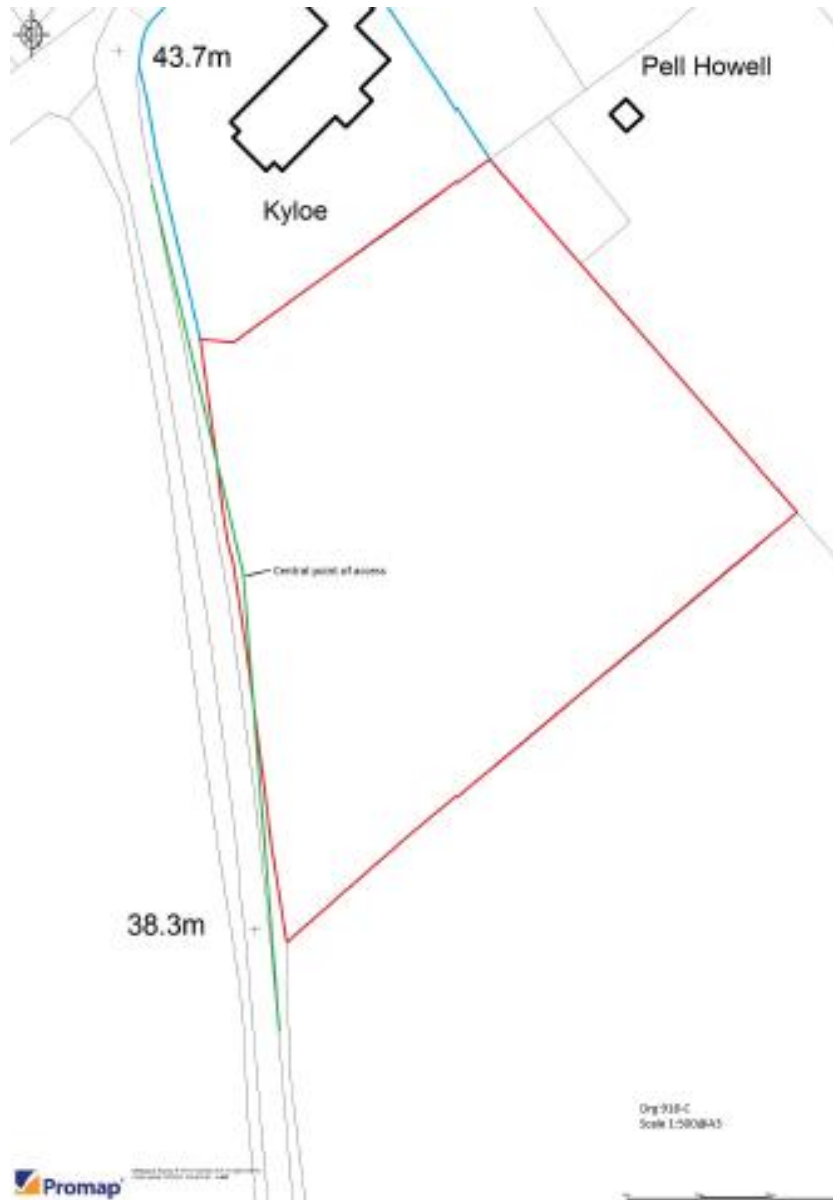


Proposed Access Plan



Amended Visibility Splay

Slide 7



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From: Nathan Pittam
Sent: 05 October 2016 16:07
To: Planning Admin
Subject: 4010/16/OUT. EH - Land Contamination.

M3 : 184794
4010/16/OUT. EH - Land Contamination.
Kyloe, Priory Road, Palgrave, DISS, IP22 1AJ.
Application for Outline Planning Permission - Erection of 5 no. dwellings and garages and construction of new vehicular access.

Many thanks for your request for comments in relation to the above application for 5 dwellings in Palgrave. The applicant has submitted an envirocheck style report and land contamination questionnaire in support of the application which is not the accepted approach for anything other than 1-2 dwellings on previously undeveloped land. The Land Contamination Questionnaire states in itself that its use is only permitted for 1-2 dwellings. For a development of above 2 dwellings we require that the applicant submits a Phase I desk study and site walkover undertaken by a competent person in accordance with BS1017 and CLR11. As this application has failed to submit the required level of information I would be minded to recommend that the application be refused on the grounds of insufficient information. Obviously, should the applicant wish to submit the correct documentation in a reasonable timescale within the consultation period then we may be in a position to modify our recommendation.

Regards

Nathan

Nathan Pittam BSc. (Hons.) PhD
Senior Environmental Management Officer
Babergh and Mid Suffolk District Councils – Working Together
t: 01449 724715 or 01473 826637
w: www.babergh.gov.uk www.midsuffolk.gov.uk

9-10 The Churchyard, Shire Hall
Bury St Edmunds
Suffolk
IP33 1RX

Philip Isbell
Corporate Manager – Development Management
Planning Services
Mid Suffolk District Council
131 High Street
Needham Market
Ipswich IP6 8DL

Enquiries to: Rachael Abraham
Direct Line: 01284 741232
Email: Rachael.abraham@suffolk.gov.uk
Web: <http://www.suffolk.gov.uk>

Our Ref: 2016_4010
Date: 19 October 2016

For the Attention of Alex Scott

Dear Mr Isbell

**PLANNING APPLICATION 4010/16 – KYLOE, PRIORY ROAD, PALGRAVE:
ARCHAEOLOGY**

This application lies in an area of high archaeological interest recorded in the County Historic Environment Record. The development site is located on the edge of the historic settlement core of Palgrave and scatters of Saxon and medieval finds (PAL 047) have been recorded in its vicinity. As a result, there is a strong possibility that heritage assets of archaeological interest will be encountered at his location. Any groundworks causing significant ground disturbance have potential to damage any archaeological deposit that exists.

There are no grounds to consider refusal of permission in order to achieve preservation *in situ* of any important heritage assets. In accordance with paragraph 141 of the National Planning Policy Framework, any permission granted should be the subject of a planning condition to record and advance understanding of the significance of the heritage asset before it is damaged or destroyed.

The following two conditions, used together, would be appropriate:

1. No development shall take place within the area indicated [the whole site] until the implementation of a programme of archaeological work has been secured, in accordance with a Written Scheme of Investigation which has been submitted to and approved in writing by the Local Planning Authority.

The scheme of investigation shall include an assessment of significance and research questions; and:

- a. The programme and methodology of site investigation and recording.
- b. The programme for post investigation assessment.
- c. Provision to be made for analysis of the site investigation and recording.
- d. Provision to be made for publication and dissemination of the analysis and records of the site investigation.

- e. Provision to be made for archive deposition of the analysis and records of the site investigation.
- f. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation.
- g. The site investigation shall be completed prior to development, or in such other phased arrangement, as agreed and approved in writing by the Local Planning Authority.

2. No building shall be occupied until the site investigation and post investigation assessment has been completed, submitted to and approved in writing by the Local Planning Authority, in accordance with the programme set out in the Written Scheme of Investigation approved under Condition 1 and the provision made for analysis, publication and dissemination of results and archive deposition.

REASON:

To safeguard archaeological assets within the approved development boundary from impacts relating to any groundworks associated with the development scheme and to ensure the proper and timely investigation, recording, reporting and presentation of archaeological assets affected by this development, in accordance with Core Strategy Objective SO 4 of Mid Suffolk District Council Core Strategy Development Plan Document (2008) and the National Planning Policy Framework (2012).

INFORMATIVE:

The submitted scheme of archaeological investigation shall be in accordance with a brief procured beforehand by the developer from Suffolk County Council Archaeological Service, Conservation Team.

I would be pleased to offer guidance on the archaeological work required and, in our role as advisor to Mid Suffolk District Council, the Conservation Team of SCC Archaeological Service will, on request of the applicant, provide a specification for the archaeological investigation. In this case, an archaeological evaluation will be required to establish the potential of the site and decisions on the need for any further investigation (excavation before any groundworks commence and/or monitoring during groundworks) will be made on the basis of the results of the evaluation.

Please let me know if you require any clarification or further advice.

Yours sincerely

Rachael Abraham

Senior Archaeological Officer
Conservation Team

Your Ref: MS/4010/16
Our Ref: 570\CON\3353\16
Date: 24/10/2016
Highways Enquiries to: kyle.porter@suffolk.gov.uk

All planning enquiries should be sent to the Local Planning Authority.
Email: planningadmin@babberghmidsuffolk.gov.uk

The Planning Officer
Mid Suffolk District Council
Council Offices
131 High Street
Needham Market
Ipswich
Suffolk
IP6 8DL

For the Attention of: Alex Scott

Dear Alex

TOWN AND COUNTRY PLANNING ACT 1990
CONSULTATION RETURN MS/4010/16

PROPOSAL: Application for Outline Planning Permission - Erection of 5 no. dwellings and garages and construction of new vehicular access

LOCATION: Kyloe, Priory Road, Palgrave, Suffolk

Notice is hereby given that the County Council as Highway Authority make the following comments:

There isn't any provision for pedestrians to access the site, National Planning Policy Framework para.32 states that safe and suitable access should be achieved by all. This could be executed via S278 agreement.

Additionally, no plans for parking vehicles or cycle storage have been detailed, please be advised that the aforementioned needs to meet Suffolk Guidance for Parking 2015's technical guidance.

Furthermore, the access needs to be in accordance with DM01 and have an entrance width of 4.5m to allow two vehicles to safely pass one another.

Yours sincerely,

Mr Kyle Porter
Development Management Technician
Strategic Development – Resource Management



31 January 2017

Alex Scott
Mid Suffolk District Council
Council Offices
131 High Street
Needham Market
Ipswich
IP6 8DL

By email only

Dear Alex

Application: 4010/16

Location: Kyloe, Priory Road, Palgrave, IP22 1AJ

Proposal: Application for Outline Planning Permission - Erection of 5 no. dwellings and garages and construction of new vehicular access

Thank you for consulting Place Services on the above application.

I have appraised the submitted ecological information and in my professional opinion, this is adequate for determination. The development is likely to result in impacts on important ecological features including Protected and Priority species however it can be made acceptable with mitigation secured to minimise the impacts will be minimised.

No objection to this development, subject to conditions to secure ecological mitigation and reasonable biodiversity enhancements.

The suggested conditions are based on BS42020:2013 and in terms of biodiversity net gain, the enhancements proposed will contribute to this aim.

Recommended conditions

I. PRIOR TO COMMENCEMENT: COMPLIANCE WITH ECOLOGICAL REPORTS RECOMMENDATIONS

"All ecological mitigation and enhancement measures and/or works shall be carried out in accordance with the details contained in the Preliminary Ecological Appraisal (Practical Ecology Dec 2016), as submitted with the planning application and agreed with the local planning authority prior to determination".

Reason: To conserve and enhance Protected and Priority species and allow the LPA to discharge its duties under the UK Habitats Regulations, the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006.



II. PRIOR TO OCCUPATION: LIGHTING DESIGN SCHEME

"Prior to occupation, a lighting design scheme for biodiversity shall be submitted to and approved in writing by the local planning authority. The scheme shall identify those features on site that are particularly sensitive for bats and that are likely to cause disturbance along important routes used for foraging; and show how and where external lighting will be installed (through the provision of appropriate lighting contour plans and technical specifications) so that it can be clearly demonstrated that areas to be lit will not disturb or prevent bats using their territory.

All external lighting shall be installed in accordance with the specifications and locations set out in the scheme and maintained thereafter in accordance with the scheme. Under no circumstances should any other external lighting be installed without prior consent from the local planning authority."

Reason: To conserve and enhance bats and allow the LPA to discharge its duties under the UK Habitats Regulations and s17 Crime & Disorder Act.

Informative on breeding birds

"The applicant is reminded that, under the Wildlife and Countryside Act 1981, as amended (section 1), it is an offence to remove, damage or destroy the nest of any wild bird while that nest is in use or being built. Planning consent for a development does not provide a defence against prosecution under this act.

Trees and scrub are likely to contain nesting birds between 1st March and 31st August inclusive. Trees and scrub are present on the application site and are to be assumed to contain nesting birds between the above dates, unless a recent survey has been undertaken by a competent ecologist to assess the nesting bird activity on site during this period and has shown it is absolutely certain that nesting birds are not present."

Conclusion

I have made these recommendations in order to minimise the impact of the proposal on ecology and having due regard for the NPPF and Policy CS5, as well as the statutory obligations of the Local Planning Authority.

Please contact me with any queries.

Best wishes

Sue Hooton CEnv MCIEEM BSc (Hons)
Principal Ecological Consultant
Place Services at Essex County Council
sue.hooton@essex.gov.uk

Place Services provide ecological advice on behalf of Babergh and Mid Suffolk District Councils
Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.

Your Ref: MS/4010/16
Our Ref: 570\CON\0169\17
Date: 02/02/2017
Highways Enquiries to: kyle.porter@suffolk.gov.uk



All planning enquiries should be sent to the Local Planning Authority.
Email: planningadmin@babberghmidsuffolk.gov.uk

The Planning Officer
Mid Suffolk District Council
Council Offices
131 High Street
Needham Market
Ipswich
Suffolk
IP6 8DL

For the Attention of: Alex Scott

Dear Alex

**TOWN AND COUNTRY PLANNING ACT 1990
CONSULTATION RETURN MS/4010/16**

PROPOSAL: Application for Outline Planning Permission - Erection of 5 no. dwellings and garages and construction of new vehicular access.
LOCATION: Kyloe, Priory Road, Palgrave, Suffolk

Notice is hereby given that the County Council as Highway Authority recommend the application be refused for the following reasons:

- Safe and suitable access cannot be achieved by all contrary to National Planning Policy Framework (para.32) and to Local Plan policy XXX.

The proposed visibility splay is not shown to be sufficient for safe vehicular access. It is not considered acceptable for the development to not be linked to the village with a footway for safety and sustainable development.

The access should be in accordance with Suffolk County Councils standard construction drawing DM01 with an entrance width of 4.5m for a minimum 10m from the edge of carriageway to allow two vehicles to safely pass one another.

Drawing Number 918-01/a shows that DM01 cannot be implemented sufficiently due to inadequate visibility. Drawing Number 918-01/a shows $x=2.4m$ by $y=75m$ to the North, this is below the requirement for this location and contravenes standards in the Design Manual for Roads and Bridges because it is likely that vehicles will be accelerating as they approach the change in speed limit to National Speed Limit. Conversely, the speed of vehicles northbound may exceed 30mph.

Furthermore, the 'Y' distance is lower than that shown on the drawing to the north and it encroaches 3rd party land not in the applicant's ownership, therefore cannot be secured.

The available visibility splays must be commensurate with the 85th percentile wet weather speeds. A 7-day automatic speed survey is required to demonstrate that a relaxation in the y-distance should be acceptable. It is suggested that this should be measured 45m south of the access.

Yours sincerely,

Mr Christopher Fish
Senior Development Management Engineer
Strategic Development – Resource Management

From: Nathan Pittam
Sent: 06 March 2017 15:02
To: Planning Admin
Subject: 4010/16/OUT. EH - Land Contamination.

M3 : 190821
4010/16/OUT. EH - Land Contamination.
Kyloe, Priory Road, Palgrave, DISS, IP22 1AJ.
Application for Outline Planning Permission - Erection of 5 no. dwellings and garages and construction of new vehicular access.

Many thanks for your request for comments in relation to the above application for 5 dwellings in Palgrave. The applicant has submitted an envirocheck style report and land contamination questionnaire in support of the application which is not the accepted approach for anything other than 1-2 dwellings on previously undeveloped land. The Land Contamination Questionnaire states in itself that its use is only permitted for 1-2 dwellings. For a development of above 2 dwellings we require that the applicant submits a Phase I desk study and site walkover undertaken by a competent person in accordance with BS1017 and CLR11. As this application has failed to submit the required level of information I would be minded to recommend that the application be refused on the grounds of insufficient information. Obviously, should the applicant wish to submit the correct documentation in a reasonable timescale within the consultation period then we may be in a position to modify our recommendation.

Regards

Nathan

Nathan Pittam BSc. (Hons.) PhD
Senior Environmental Management Officer
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Web: <http://www.suffolk.gov.uk>

Our Ref: 2016_4010
Date: 19 October 2016

For the Attention of Alex Scott

Dear Mr Isbell

**PLANNING APPLICATION 4010/16 – KYLOE, PRIORY ROAD, PALGRAVE:
ARCHAEOLOGY**

This application lies in an area of high archaeological interest recorded in the County Historic Environment Record. The development site is located on the edge of the historic settlement core of Palgrave and scatters of Saxon and medieval finds (PAL 047) have been recorded in its vicinity. As a result, there is a strong possibility that heritage assets of archaeological interest will be encountered at his location. Any groundworks causing significant ground disturbance have potential to damage any archaeological deposit that exists.

There are no grounds to consider refusal of permission in order to achieve preservation *in situ* of any important heritage assets. In accordance with paragraph 141 of the National Planning Policy Framework, any permission granted should be the subject of a planning condition to record and advance understanding of the significance of the heritage asset before it is damaged or destroyed.

The following two conditions, used together, would be appropriate:

1. No development shall take place within the area indicated [the whole site] until the implementation of a programme of archaeological work has been secured, in accordance with a Written Scheme of Investigation which has been submitted to and approved in writing by the Local Planning Authority.

The scheme of investigation shall include an assessment of significance and research questions; and:

- a. The programme and methodology of site investigation and recording.
- b. The programme for post investigation assessment.
- c. Provision to be made for analysis of the site investigation and recording.
- d. Provision to be made for publication and dissemination of the analysis and records of the site investigation.

- e. Provision to be made for archive deposition of the analysis and records of the site investigation.
- f. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation.
- g. The site investigation shall be completed prior to development, or in such other phased arrangement, as agreed and approved in writing by the Local Planning Authority.

2. No building shall be occupied until the site investigation and post investigation assessment has been completed, submitted to and approved in writing by the Local Planning Authority, in accordance with the programme set out in the Written Scheme of Investigation approved under Condition 1 and the provision made for analysis, publication and dissemination of results and archive deposition.

REASON:

To safeguard archaeological assets within the approved development boundary from impacts relating to any groundworks associated with the development scheme and to ensure the proper and timely investigation, recording, reporting and presentation of archaeological assets affected by this development, in accordance with Core Strategy Objective SO 4 of Mid Suffolk District Council Core Strategy Development Plan Document (2008) and the National Planning Policy Framework (2012).

INFORMATIVE:

The submitted scheme of archaeological investigation shall be in accordance with a brief procured beforehand by the developer from Suffolk County Council Archaeological Service, Conservation Team.

I would be pleased to offer guidance on the archaeological work required and, in our role as advisor to Mid Suffolk District Council, the Conservation Team of SCC Archaeological Service will, on request of the applicant, provide a specification for the archaeological investigation. In this case, an archaeological evaluation will be required to establish the potential of the site and decisions on the need for any further investigation (excavation before any groundworks commence and/or monitoring during groundworks) will be made on the basis of the results of the evaluation.

Please let me know if you require any clarification or further advice.

Yours sincerely

Rachael Abraham

Senior Archaeological Officer
Conservation Team



Consultation Response Pro forma

1	Application Number	4010/16 r/o Kyloe, Palgrave	
2	Date of Response	10.11.16	
3	Responding Officer	Name:	Paul Harrison
		Job Title:	Heritage and Design Officer
		Responding on behalf of...	Heritage
4	Summary and Recommendation (please delete those N/A) Note: This section must be completed before the response is sent. The recommendation should be based on the information submitted with the application.	1. The Heritage Team considers that the proposal would cause <ul style="list-style-type: none"> • less than substantial harm to a designated heritage asset because it would erode the rural character of the setting of the adjacent listed building. 2. Since any built development would have similar impact at this site, the Heritage Team can only recommend refusal.	
5	Discussion Please outline the reasons/rationale behind how you have formed the recommendation. Please refer to any guidance, policy or material considerations that have informed your recommendation.	<p>Kyloe stands to the south-west of Pell Howell, listed as Fairways, which is a late medieval house with the usual adaptations. By the late 1700s Pell Howell was flanked by buildings in a broadly linear pattern along Priory Road, and this is still the situation. Across the road the former grounds of The Priory have been built over.</p> <p>The setting of the listed building is a group of buildings in broadly linear pattern with open countryside to the rear. It is likely that Pell Howell was originally a farmhouse, and its relationship with surrounding countryside is therefore an important part. Instead of appearing as part of a typical historic group, the listed building would be experienced as being embedded in housing development on the majority of its sides. The arc of open countryside would be reduced to half its present scope. The setting of the listed building would be predominantly built-up and the sense of its rural origin would be seriously eroded. It is also of concern that if this application were successful, then further proposals to develop behind these buildings would be difficult to resist, resulting in the listed building's setting becoming entirely suburban.</p> <p>Under the provisions of the PLBCAA 1990 special regard must be given to the desirability of preserving harm to the setting of listed buildings. The courts have recently confirmed that this should be regarded as a strong presumption against harm. The NPPF expects great weight to be given to preserving designated assets from</p>	

Please note that this form can be submitted electronically on the Councils website. Comments submitted on the website will not be acknowledged but you can check whether they have been received by reviewing comments on the website under the application reference number. Please note that the completed form will be posted on the Councils website and available to view by the public.

		harm, and expects clear and convincing justification to be demonstrated, whether by public benefits which outweigh the harm or otherwise.
6	Amendments, Clarification or Additional Information Required (if holding objection) If concerns are raised, can they be overcome with changes? Please ensure any requests are proportionate	
7	Recommended conditions	

Please note that this form can be submitted electronically on the Councils website. Comments submitted on the website will not be acknowledged but you can check whether they have been received by reviewing comments on the website under the application reference number. Please note that the completed form will be posted on the Councils website and available to view by the public.

Consultation Response Pro forma

1	Application Number	4010/16 as amended Kyløe, Palgrave	
2	Date of Response	22.3.17	
3	Responding Officer	Name:	Paul Harrison
		Job Title:	Heritage and Design Officer
		Responding on behalf of...	Heritage
4	Summary and Recommendation (please delete those N/A) Note: This section must be completed before the response is sent. The recommendation should be based on the information submitted with the application.	<ol style="list-style-type: none"> 1. The Heritage Team considers that the proposal would cause <ul style="list-style-type: none"> • less than substantial harm to a designated heritage asset because the amendment does not appear to address the heritage issues raised. 2. Since any built development would have similar impact at this site, the Heritage Team can only recommend refusal. 	
5	Discussion Please outline the reasons/rationale behind how you have formed the recommendation. Please refer to any guidance, policy or material considerations that have informed your recommendation.	<p>The proposal has been amended by submission of a revised site location plan. Since the site is unchanged, there is no reason to change our previous comment:</p> <p>Kyløe stands to the south-west of Pell Howell, listed as Fairways, which is a late medieval house with the usual adaptations. By the late 1700s Pell Howell was flanked by buildings in a broadly linear pattern along Priory Road, and this is still the situation. Across the road the former grounds of The Priory have been built over.</p> <p>The setting of the listed building is a group of buildings in broadly linear pattern with open countryside to the rear. It is likely that Pell Howell was originally a farmhouse, and its relationship with surrounding countryside is therefore an important part. Instead of appearing as part of a typical historic group, the listed building would be experienced as being embedded in housing development on the majority of its sides. The arc of open countryside would be reduced to half its present scope. The setting of the listed building would be predominantly built-up and the sense of its rural origin would be seriously eroded. It is also of concern that if this application were successful, then further proposals to develop behind these buildings would be difficult to resist, resulting in the listed building's setting becoming entirely suburban.</p> <p>Under the provisions of the PLBCAA 1990 special regard must be given to the desirability of preserving harm to the</p>	

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		setting of listed buildings. The courts have recently confirmed that this should be regarded as a strong presumption against harm. The NPPF expects great weight to be given to preserving designated assets from harm, and expects clear and convincing justification to be demonstrated, whether by public benefits which outweigh the harm or otherwise.
6	<p>Amendments, Clarification or Additional Information Required (if holding objection)</p> <p>If concerns are raised, can they be overcome with changes? Please ensure any requests are proportionate</p>	
7	Recommended conditions	

Please note that this form can be submitted electronically on the Councils website. Comments submitted on the website will not be acknowledged but you can check whether they have been received by reviewing comments on the website under the application reference number. Please note that the completed form will be posted on the Councils website and available to view by the public.

4010/16 - Kyoel, Lion Road - Application for Outline Planning Permission - Erection of five dwellings and garages and construction of new vehicular access.

Response from Palgrave Parish Council

The Parish Council considered this application at the October Meeting. It was unanimously agreed to RECOMMEND REFUSAL of the application and to submit the following comments.

Referring to the Planning Statement:

Flooding - mapping shows a large pond within the site, not shown on the site location plan. Most ponds in Palgrave are spring-fed and there are various wells. That brings into question the operation of any SUDS and, presumably, an on-site sewage treatment facility with outfall.

MSDC Core Strategy and Focused Review -

Para. 12 - see attached Sustainability Statement, especially re lack of school places.

Para. 13 - Palgrave was originally scheduled for 0 houses but the various developments since the 1998 have definitely been larger than 'small scale'.

Para. 15 - Location out on a limb down a single track road at the furthest point from the village and Diss, the nearest service centre, renders it the most unsuitable location in Palgrave.

National Planning Policy Framework - see attached Sustainability Statement ref. para 7 of NPPF.

Para. 17 - It will impose additional pressure on existing over-stressed services such as the school, health services in Diss and the local road network.

Para. 18 - The identified need is for smaller low-cost dwellings, see Parish Profile.

Para. 19 - stretching a point to it's limits. The entrance would be on a single track road subject to the national speed limit, having a blind bend at each end with no footways, and used as a 'rat-run' to the A143. The remainder of Priory Road leading into the village is not to a much better standard.

Main Planning Considerations -

Para. 25 - As described above the adjoining highway is single track with passing places, subject to the national speed limit of 60 miles/hr, has a blind bend at each end and raised verges with no footways.

Para. 26 - Should be evidenced; archaeological finds have been made all around the locality.

Other Material Planning Considerations -

Para. 28. - Not comparable. The site at Lion Road is inset within the projected line of the settlement boundary and is surrounded on 3 sides by it; this site extends substantially beyond it.

Paras. 29 & 30 - Services and infrastructure in Diss are already under strain from development with Diss itself and with more housing allocated. See attached Sustainability Statement for further details.

PALGRAVE PARISH COUNCIL - STATEMENT RE SUSTAINABILITY AND DEVELOPMENT IN PALGRAVE

A summary of the history, present position and future actions being taken to address the above.

1. Material Consideration - Lack of School Places

Key extracts from submission by Suffolk County Council dated 22nd February 2016 re:

Planning Application 4195/15 for 21 Dwellings on Lion Road, Palgrave

by Neil McManus BSc (Hons) MRICS, Development Contributions Manager, Strategic Development

'Palgrave CEVP is the catchment primary school. It is a popular school and, in order to minimise the need to travel and to encourage travel by healthy and sustainable modes, it is hoped that the children from this development (if permitted) would attend Palgrave School.

'School forecasts produced by the County Council indicate that the school will not have spare capacity to accept these pupils. Furthermore, the school is on a constrained site, unable to expand.

'Initial advice, prior to submission of this application was to suggest that it might not be advisable to grant planning permission on grounds of a lack of school places. Given that the County Council recognises the need for new homes, different options have been explored for mitigating the impact of this development on the Primary School. With the agreement of the school, a project has been identified which will enable the school to manage the additional demand created by this development.'

These proposals included an s106 contribution of £85,267 for 7 places to:

- Refurbish an area of the nearby Community Centre so that school could extend the use of this with Y6 pupils, teaching them off-site to create more space in the school. [It was confirmed that it is not possible to extend the school, which is sited within a registered Village Green with public highways on 2 sides and the Church to the south];
- Contribute towards a Multi-Use Games Area (MUGA) to provide enhanced outdoor facilities;
- Help fund provision of a minibus to make sharing facilities with other schools in the Tilian Partnership easier.

The County Council was of the view that an increase in planned admissions was possible if funding is secured for these projects - funding has not been secured, as explained below.

The timing of the determination of application 4195/15 was such that the implementation of the Community Infrastructure Levy (CIL) was imminent and so alternative methods were put forward for securing contributions. It is understood the Developer declined the proposed s106 contributions towards measures to increase school places and further sums to enhance play and accommodation facilities at the Community Centre and Playing Field by opting to pay CIL contributions instead.

Furthermore the Tilian Partnership and the schools within it were granted Academy status effective from the 2016-17 school year, taking them out of Local Education Authority (LEA) control. This alone would result in any s106 contributions to the LEA being refunded to the Developer and hence no longer available to the Academy to deliver any of the mitigation proposals listed above.

The school was already hiring a room at the Community Centre during the previous school year and is extending the hire period for 2016-17, since the school remains at capacity. This introduces issues regarding safeguarding and potential conflicts with other users of the Community Centre.

An option to site two Portakabins adjacent to the Community Centre was examined but discounted on grounds of disproportionate cost. In any event it could have led to challenges about changing the use of land held in a charitable trust for the residents of Palgrave for recreational purposes.

The availability of places for children of families moving into existing housing in Palgrave is uncertain and would be increasingly compromised by any further new housing developments.

It must also be taken into consideration that the outline planning permission for 5 dwellings on the former Pat Lewis garage site (2659/15), although approved earlier than the development at Lion Road, being for less than 10 dwellings was excluded from LEA assessment and any potential pupils arising from it would be in addition to the above, adding yet more demand in excess of supply.

The submission by Suffolk County Council concluded (underlining added for emphasis):

'The Parish Council's concerns around the capacity and siting of the school are understood, but given funding constraints, it is not possible to commit to relocating the school. Longer term issues around the future growth of Palgrave, and how school places will be provided if further houses are to be allocated, need to be determined through the Mid Suffolk Local Plan and its assessment of a suitable level of growth for Palgrave. The County Council is already working with Mid Suffolk District Council on infrastructure considerations, to help the District arrive at 'preferred options' for growth.'

The Pat Lewis garage site is an ideal location for a school, being on the main road and adjoining the Community Centre and Playing Field. The Parish Council is greatly disappointed that elected members and officers did not respond to the pleas for it to be reserved for a replacement school.

Land Bids have recently been re-submitted in response to the District Council's call for sites of between 0.25 and 2 hectares. Since one of those includes land previously designated for a replacement school it is only right and proper that those sites be thoroughly assessed for potential Strategic Housing allocations before considering any speculative applications and so Development Control officers should clearly not be advising of their support for such speculative applications.

Palgrave Parish Council will shortly, with others, be making an application for designation as a Neighbourhood Area preparatory to producing a Neighbourhood Plan that will take account of all of these and other factors adversely impacting on the sustainability of local infrastructure.

On the basis of the above, each planning application for new housing, whether in outline or for full permission, should be fully and transparently quantified for the further impact on the capacity of the village school and assessed against the sustainability requirements in para. 7 of the NPPF.

2. Material Consideration - Sub-standard Highway Network

Connectivity to the principal highway network (A143, A140 and A1066) attracts substantial through traffic of all types - including HGVs - seeking fast routes to and through Diss avoiding the congested A1066 (see 4. below). Only the north side of the east-west through route (Upper Rose Lane/Lion Road, the former A143) has a continuous footway; all other through routes are sub-standard in width, alignment and capacity and constricted between property boundaries, banks or high verges and without safe routes for pedestrians - as they lack footways - or cyclists.

Crossing Road is narrow and has a single-lane pinch point between the level crossing and the A143, most of Priory Road is single track road with passing places, whilst the 'rat run' across The Green and Denmark Hill' carries the greatest traffic flows but at least is subject to a 7.5T HGV restriction.

The volumes and speed of traffic, especially during peak periods, make it very difficult for pedestrian traffic to cross roads safely, whilst the footpath link to Diss ('The Lows') - the only 'safe' route - is narrow and would benefit from improvements to segregate pedestrians and cyclists.

3. Material Consideration - Lack of Community Outdoor Play, Activity and Exercise Facilities

The Parish Council has applied for planning permission (3409/16) to expand and enhance the existing play equipment and to add a MUGA. It was anticipated that funding for this would come from the proposed s106 agreement and a substantial sum was included for these projects but, with the Developer opting to pay CIL contributions, now the substantial funds required (c£77,000) will need to be raised locally and through grants.

Unless and until funds are raised the provision of play, activity and exercise facilities in Palgrave will remain sub-standard.

4. Material Consideration - Employment

The only employment within Palgrave, save for those working from home, at the school, self-employed or in agriculture, is at the Forge Business Centre, which in itself is also a traffic generator.

There is no relation between residence and employment and theoretically the Business Centre could be located anywhere. The long-established car sales and servicing business closed in 2015. Those in employment or further education must travel to Diss or further afield, such as Norwich, Ipswich and Bury St Edmunds; some commute to London and even abroad.

5. Material Consideration - Lack of Services and Other Infrastructure in Diss

Palgrave, with Stuston and Thrandeston, are provisionally assigned to the 'Diss Cluster' for the purposes of the Babergh/Mid Suffolk Local Plan review. Since there are no services in Palgrave or the other two Parishes this implies that residents must rely on Diss (or in some cases other service centres) for healthcare, shopping, transport connections (bus, coach and rail) and so on.

Diss is designated for a minimum of 300 homes to 2026; a planning application for 136 homes has now been approved (January 2017). Further land is designated for development to the west off Stanley Road.

Further development has taken place to the west of Diss at Tottington and Roydon.

The approved 280 dwelling development at Eye (3563/15) will also generate additional road traffic through Stuston and Palgrave to Diss for shopping trips, access to rail transport and other services.

The A1066 runs east-west through built-up southern Diss, passing supermarkets (3) and having variously a railway station, fire station, bus station, police station and numerous business and residences sited alongside it or only accessible from it. The route is congested for a substantial period each working day and carries a lot of HGV traffic connected with agriculture and farming. Businesses suffer as staff have difficulty travelling to and from work efficiently, shoppers are frustrated by the close junctions and crossings, but there is no viable alternative route save for the 'rat-runs' through Palgrave. Air pollution may also be a problem around congestion hot-spots.

There are two GP practices - Parish Fields and The Lawns - co-located at a medium-sized centre with some local Community Health services; Parish Fields is the larger of the two GP practices. The centre is not equipped to a reasonable present-day standard in that it has no facilities for x-rays, local surgery and suchlike, all patients being referred normally to the Norfolk and Norwich University Hospital, 20 miles away, while the out-of-hours medical service is now located 10 miles away in Long Stratton. A planned extension to the Centre and its facilities has not yet been approved for construction; the roadblock has been securing funding for it from the NHS.

Recently those GP practices were reported to be at the point of closing their lists to new patients and a copy of the relevant press report was submitted to Development Control for reference.

Diss Town Council has responded to several Mid Suffolk planning consultations, due to the negative impact of likely increases in demand for services and the increase in traffic, adding to the congestion.

However Diss TC is still not yet consulted on planning applications that might impact the town, although it is understood that the Infrastructure Team is more active in cross-border consultation.

6. Neighbourhood Plan

For all of the above reasons and because of the geography and socio-economic dependence of the surrounding Parishes on Diss, discussions have been held with a view to developing a concerted and co-ordinated approach to dealing with them.

Applications will shortly be made to South Norfolk and Mid Suffolk planning authorities to designate a Neighbourhood Area comprising Diss and surrounding Parishes on both sides of the county boundary. Final confirmation is awaited of participation by Thrandeston and Stuston and possibly Brome. On the Norfolk side the Area would extend from Scole in the east to Roydon in the west.

On designation of the Area, work will commence to develop the Draft Neighbourhood Plan for consultation and both South Norfolk and Mid Suffolk District Councils will be actively participating.

With the Babergh/Mid Suffolk Local Plan still under development and with other housing development taking place within the locality - especially in Diss and Eye, coupled with the ongoing second stage assessment of strategic housing land including the smaller sites, surely it is exactly the wrong time to increase pressure on services, one of which - Palgrave school - is clearly unable to accommodate even the present demand?

PALGRAVE PARISH COUNCIL

Outline Application 4010/16: Application for Outline Planning Permission - Erection of 5 dwellings and garages and construction of new vehicular access. Kyloe, Priory Road, Palgrave, IP22 1AJ

SUPPLEMENTARY RESPONSE FOLLOWING FURTHER SUBMISSIONS REGARDING HIGHWAYS ACCESS AND OTHER RELATED MATTERS

1. Sustainability

An updated version of the Parish Council's Sustainability Statement is also submitted, to replace earlier versions since this application was first submitted in September 2016. In particular it updates data relating to the present capacity and future demand on the Primary School before construction of any of the 27 dwellings for which planning permission has been granted since January 2016.

For convenience the relevant paragraphs are repeated below:

*'Land Bids have recently been re-submitted in response to the District Council's call for sites of between 0.25 and 2 hectares. Since one of those includes land previously designated for a replacement school it is **only right and proper that those sites be thoroughly assessed for potential Strategic Housing allocations before considering any speculative applications and so Development Control officers should clearly not be advising of their support for such speculative applications.***

'The planning authority granted permissions for 27 new dwellings since January 2016. In February 2017 the school has 73 pupils on the roll, 3 on a waiting list and 10 siblings for admission for 2017-18 school year. On that basis, each planning application for new housing, whether in outline or for full permission, must be fully and transparently quantified for the further impact on the capacity of the village school and assessed against the sustainability requirements in para. 7 of the NPPF.'

The recently-published Housing White Paper [Fixing our broken housing market, Cm 9352] signals Government's intentions in this regard:

'This will put communities back in charge of getting the attractive homes they want and need – for young professionals, older people, growing families, people on low incomes, people with disabilities and more. It will reduce speculative development, and support our villages, towns and cities to develop in a way that preserves the unique character of their communities, and protects precious countryside.'

2. Heritage and Landscape

The concerns expressed by the planning authority's Heritage Officer and supported by Suffolk Preservation Society regarding the impact on the neighbouring historic farmstead Pell Howell cannot be dismissed or trivialised. The only proper method of confirming that the impact will be negligible, as the Applicant's Agent suggests in response by showing only a view from the opposite side to the proposed development, is by requiring a detailed planning application. Only by this means can the real visual impact on the setting of Pell Howell and surrounding open land be assessed.

3. Highways Matters

The Applicant's Agent has submitted a further plan for accommodating Highways requirements for visibility splays (sight lines) relating to a proposed new access to the site, to which Highways has responded by restating the requirements including the provision of a footway.

The plan view submitted takes no account of the topography of the adjoining land. A site survey was carried out on 13th February when the following critical measurements were obtained.

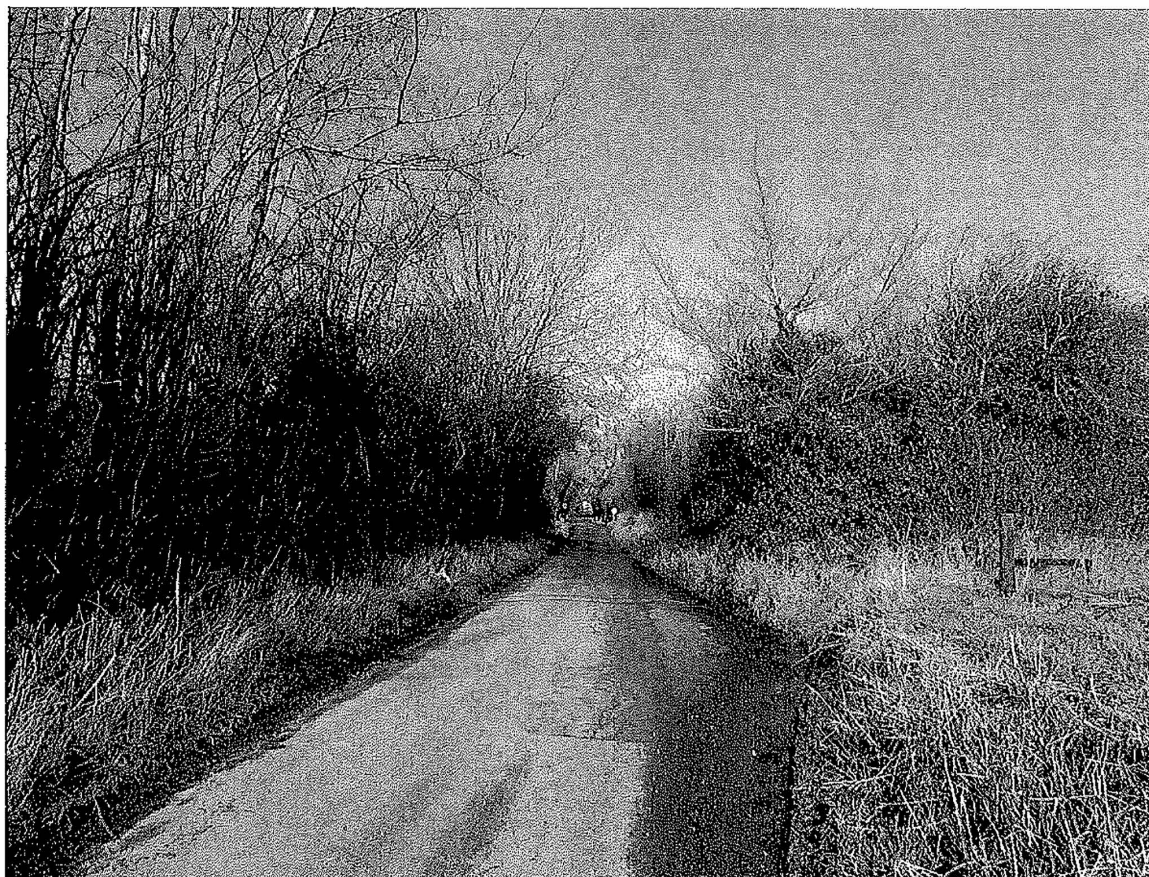
Distance from carriageway edge to centre of hedge (i.e. main trunks, not allowing for any spread of branches) was 2.15m at the northern end of the site by the '30' speed limit sign reducing to 1.45m at the southern end of the site. Therefore there is not at any point the required 2.4m clearance from the edge of carriageway.

Height from carriageway edge to top of bank on which the hedge is sited was 1.45m at the northern end of the site by the '30' speed limit sign reducing to 1.2m at the southern end of the site with the bank continuing at the road edge southwards. Therefore there is also not at any point the required height clearance of minimum of 1.05m required above the carriageway.

The carriageway width is also sub-standard, varying between 3.65m by the speed limit sign, 3.2m near the location of the proposed access and 4.1m at the southern end of the site, with some very short local widening where passing places have been forced by traffic. The only paved passing place on this length of Priory Road is immediately south of the site.

As to the footway and visibility splay, the concrete block wall that bounds the property 'Kyloe' is within 0.5m of the carriageway edge at the southern end, adjacent to the present field access, and there is no possibility whatsoever of further reducing the already substandard carriageway to provide for a footway. Furthermore there is a substantial hedge behind and overhanging it.

Below is a general view northwards along Priory Road with the site on the right. The new fence post in the adjoining field has a visible height of 1.2m whilst the height from carriageway to the underside of the '30' roundel in the distance is 1.45m. The sharp blind bend at the top is also visible.



As can also be seen the boundary hedge between the site and the adjoining farmland, in different ownership and subject to a life tenancy, reaches almost to the carriageway edge. If that hedge were not in the ownership of the applicant then it would be difficult to achieve the requisite visibility. Note that the netting fence is laid inside the field margin to protect the crop (herbs) from rabbits, etc.

The following photographs illustrate first the height of the bank adjacent to the '30' speed limit sign, the underside of the sign roundel being 1.45m above the carriageway, and second the proximity of the concrete block wall to the carriageway, confirming that it is not possible to construct a footway without the owner of 'Kyloe' giving the requisite land, If that were to be considered then it would be appropriate to examine the need for creating an adequate visibility splay inside of the blind bend.



The normal expectation would be that Highways would seek to reserve land under the appropriate powers for potential future widening and in any case to ensure by a condition that any area within 2.4m of the edge of the carriageway is kept clear of any obstructions, both horizontally and vertically. Achieving the latter is impossible without total removal of the existing hedge and bank and also by re-grading the land beyond, which is of course substantially higher than the carriageway.

The substandard width of the carriageway in the vicinity of the proposed point of access should require local widening to accommodate the turning circles of larger vehicles, up to 7.5T, which are used for domestic deliveries of certain goods.

Properly constructed and adequate passing places should in any event be required either side of the proposed access to provide for a vehicle leaving the site at about the same time as another vehicle emerges around either bend to north or south. This is especially important to the north as it would compromise road safety if a vehicle were to be forced to reverse towards the blind bend.

All of which of course would require the total removal of the existing field hedge, for which further specific permission would be required and the additional impact on the local ecology to be assessed.

Traffic Counts - it is noted that traffic counters have been placed at either end of the site. School half-term commenced with the end of the school day on Friday 10th February for the ensuing week and so the data obtained during that period will not be representative of traffic patterns during school time.

4. Third Party Rights

There is a suggestion that a legal right of access may have been granted the owner of Pell Howell to access a similar area of land to the rear by crossing the site. If this proves to be the case then the accommodation of such rights needs to be clearly shown in detail, another substantiation of the need for a detailed application.

5. SUMMARY

Planning permissions for 27 new dwellings in the village have already been granted since January 2016 and there are areas of land accessible from the main road already the subject of land bids.

The school is full and already future spaces are taken up. The Diss area, including Palgrave, is subject to ongoing growth that is proving unsustainable in respect of essential healthcare provision, schools and the capacity of the road network.

Speculative developments on the edge of villages will be discouraged. Palgrave needs more rental and low-cost housing close to village amenities, accessible by footways and serviced by all utilities.

The Lion Road/Priory Road crossroads, close to the school, is already over-used by rat-running traffic. Highways (Central Area) accept that pedestrian safety is compromised and is examining ways to address it. Consequently any additional traffic from side roads, especially HGVs, is to be discouraged.

The only way to assess impact on the landscape and especially on Pell Howell is by way of a detailed layout of the development including house designs and their juxtaposition. It is essential that proper provision can be shown to be made for vehicles, including larger delivery vehicles, with adequate space provided to turn around so that they can emerge in forward gear. Sufficient additional parking provision would be required as parking on the highway clearly could not be allowed.

Highways visibility requirements, regardless of the actual dimensions, cannot possibly be achieved without destruction of the entire length of hedging and removal of the banking. Further works and provision for future widening and in the interim more passing place would be required. There is no spare width to accommodate a pedestrian footway around the boundary of Kylee itself.

Granting outline permission and then finding that the development cannot satisfy all necessary conditions or mitigations is not the proper way to proceed.

For all of the above reasons Palgrave Parish Council strongly OBJECTS to the application.

Your Ref: MS/4010/16
Our Ref: 570\CON\1295\17
Date: 27/04/2017
Highways Enquiries to: kyle.porter@suffolk.gov.uk



All planning enquiries should be sent to the Local Planning Authority.

Email: planningadmin@babberghmidsuffolk.gov.uk

The Planning Officer
Mid Suffolk District Council
Council Offices
131 High Street
Ipswich
Suffolk
IP6 8DL

For the Attention of: Alex Scott

Dear Alex

TOWN AND COUNTRY PLANNING ACT 1990 - CONSULTATION RETURN MS/4010/16

PROPOSAL: Application for Outline Planning Permission - Erection of 5 no. dwellings and garages and construction of new vehicular access.

LOCATION: Kyloe, Priory Road, Palgrave, Suffolk

Suffolk County Council's previous response, recommending refusal, is now no longer valid due to the additional information provided by the applicant in the form of 85thile speeds in conjunction with visibility splay submissions. The proposed visibility splays on Drawing No. 918-C correlate with the 85thile speeds in each direction therefore, the intensification of use that the development would create can be facilitated without a detrimental impact on highway safety.

Therefore, notice is hereby given that the County Council as Highway Authority recommends that any permission which that Planning Authority may give should include the conditions shown below:

1 V 1

Condition: Before the access is first used visibility splays shall be provided as shown on Drawing No. Drg 918-C and thereafter retained in the specified form. Notwithstanding the provisions of Part 2 Class A of the Town & Country Planning (General Permitted Development) Order 1995 (or any Order revoking and

Endeavour House, 8 Russell Road, Ipswich, Suffolk IP1 2BX
www.suffolk.gov.uk

re-enacting that Order with or without modification) no obstruction over 0.6 metres high shall be erected, constructed, planted or permitted to grow within the areas of the visibility splays.

Reason: To ensure vehicles exiting the drive would have sufficient visibility to enter the public highway safely and vehicles on the public highway would have sufficient warning of a vehicle emerging in order to take avoiding action.

2 AL 3

Condition: The new vehicular access shall be laid out and completed in all respects in accordance with Drawing No. DM01; and with an entrance width of 4.5m and made available for use prior to occupation. Thereafter the access shall be retained in the specified form.

Reason: To ensure that the access is designed and constructed to an appropriate specification and made available for use at an appropriate time in the interests of highway safety.

3 P 2

Condition: Before the development is commenced details of the areas to be provided for the [LOADING, UNLOADING,] manoeuvring and parking of vehicles including secure cycle storage shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be carried out in its entirety before the development is brought into use and shall be retained thereafter and used for no other purpose.

Reason: To ensure the provision and long term maintenance of adequate on-site space for the parking and manoeuvring of vehicles, where on-street parking and manoeuvring would be detrimental to highway safety.

4 D 2

Condition: Before the development is commenced details shall be submitted to and approved in writing by the Local Planning Authority showing the means to prevent the discharge of surface water from the development onto the highway. The approved scheme shall be carried out in its entirety before the access is first used and shall be retained thereafter in its approved form.

Reason: To prevent hazards caused by flowing water or ice on the highway.

5 B2

Condition: Before the development is commenced details of the areas to be provided for storage of Refuse/Recycling bins shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be carried out in its entirety before the development is brought into use and shall be retained thereafter for no other purpose.

Reason: To ensure that refuse recycling bins are not stored on the highway causing obstruction and dangers for other users.

6 NOTE 02

It is an OFFENCE to carry out works within the public highway, which includes a Public Right of Way, without the permission of the Highway Authority.

Any conditions which involve work within the limits of the public highway do not give the applicant permission to carry them out. Unless otherwise agreed in writing all works within the public highway shall be carried out by the County Council or its agents at the applicant's expense.

The County Council's Central Area Manager must be contacted on Telephone: 01473 341414. Further information go to: <https://www.suffolk.gov.uk/roads-and-transport/parking/apply-for-a-dropped-kerb/> A fee is payable to the Highway Authority for the assessment and inspection of both new vehicular crossing access works and improvements deemed necessary to existing vehicular crossings due to proposed development.

Yours sincerely,

Mr Kyle Porter
Development Management Technician
Strategic Development – Resource Management

Agenda Item 10b

Committee Report

Item No: 2

Reference: 0019/17

Case Officer: Rebecca Biggs

Ward: Stowmarket North.

Ward Member/s: Cllr Barry Humphreys MBE. Cllr Dave Muller. Cllr Gary Green.

Description of Development

Erection of six commercial units for B1 or B8 business units.

Location

Land South Of Gun Cotton Way, Stowmarket IP14 5UL, ,

Parish: Stowmarket

Site Area: 21200 m²

Conservation Area:

Listed Building: Not Listed

Received: 28/12/2016

Expiry Date: 21/04/2017

Application Type: FUL - Full Planning Application

Development Type: Major Small Scale - Offices/R&D/Light In

Environmental Impact Assessment: Environmental Assessment Not Required

Applicant: Atex Development Ltd

Agent: Plandescil Ltd

DOCUMENTS SUBMITTED FOR CONSIDERATION

This decision refers to drawing number 21400/009A received 04/04/2017 as the defined red line plan with the site shown edged red. Any other drawing showing land edged red whether as part of another document or as a separate plan/drawing has not been accepted or treated as the defined application site for the purposes of this decision.

The plans and documents recorded below are those upon which this decision has been reached:

Application Form - Received 26/12/2016

Site Plan EXISTING 21400/001 - Received 26/12/2016

Site Plan PROPOSED 21400/002 A - Received 04/04/2017

Block Plan - Proposed 21400/009 A - Received 04/04/2017

Defined Red Line Plan 21400/009 A - Received 04/04/2017

Plans - Existing & Proposed BLOCK A 21400/003 - Received 26/12/2016

Plans - Existing & Proposed BLOCK B 21400/004 - Received 26/12/2016

Plans - Existing & Proposed BLOCK C & E 21400/005 - Received 26/12/2016

Plans - Existing & Proposed BLOCK D 21400/006 - Received 26/12/2016
Plans - Existing & Proposed BLOCK F 21400/007 - Received 26/12/2016
Sectional Drawing 21400/008 - Received 26/12/2016
SUMMARY CONTAMINATION REPORT - Received 26/12/2016
FLOOD RISK ASSESSMENT & SWDS - Received 26/12/2016
DESIGN AND ACCESS STATEMENT - Received 30/03/2017
ECOLOGY REPORT - Received 26/12/2016
TRANSPORT ASSESSMENT B - Received 04/04/2017
ECOLOGICAL SURVEY - Received 10/04/2017
INTERIM WORKPLACE TRAVEL PLAN - Received 04/04/2017
FLOOD RISK ADDENDUM - Received 17/03/2017
Drainage Details 21400/821 - Received 17/03/2017
Drainage Details 21400/822 - Received 17/03/2017

The application, plans and documents submitted by the Applicant can be viewed online at www.midsuffolk.gov.uk. Alternatively a copy is available to view at the Mid Suffolk and Babergh District Council Offices.

PART ONE – REASON FOR REFERENCE TO COMMITTEE

The application is referred to committee for the following reason/s:

It is a “Major” application for:

- the erection of any industrial building/s with a gross floor space exceeding 3,750 square metres

PART TWO – APPLICATION BACKGROUND

History

The planning history relevant to the application site is listed below. A detailed assessment of the planning history including any material Planning Appeals will be carried out as needed in Part Three:

0711/11	Construction of one warehouse and five trade units with associated offices and carparking.	Granted 16/12/2011
2463/05	Construction of 1 x warehouse and 5 x trade units with associated office and car parking.	Granted 29/03/2007
2375/15	Outline application with all matters reserved except access for erection of 52 dwellings and commercial use of land (4975 sqm) for B1 (office only), A1 (Pharmacy only) and/or D1 (Doctor's Surgery only).	Refused 07/04/2016

All Policies Identified As Relevant

The proposal has been assessed with regard to adopted development plan policies, the National Planning Policy Framework and all other material considerations. Highlighted local and national policies are listed below. Detailed assessment of policies in relation to the recommendation and issues highlighted in this case will be carried out within the assessment:

Summary of Policies

FC01 - Presumption In Favour Of Sustainable Development
FC01_1 - Mid Suffolk Approach To Delivering Sustainable Development
FC03 - Supply Of Employment Land
CS01 - Settlement Hierarchy
CS03 - Reduce Contributions to Climate Change
CS04 - Adapting to Climate Change
CS05 - Mid Suffolk's Environment
CS06 - Services and Infrastructure
SB02 - Development appropriate to its setting
GP01 - Design and layout of development
HB01 - Protection of historic buildings
E02 - Industrial uses on allocated sites
E03 - Warehousing, storage, distribution and haulage depots
E04 - Protecting existing industrial/business areas for employment generating uses
E09 - Location of new businesses
E12 - General principles for location, design and layout
SDA03 - Comprehensive development within the SDA
SDA04 - Sustainable development
SDA06 - Employment Land
SDA08 - Principle issues to be included in SDA
SDA01 - Programmed B1115 Relief Road
SDA02 - Funding for B1115 Relief Road
SAAP - Stowmarket Area Action Plan
NPPF - National Planning Policy Framework

List of other relevant legislation

- Human Rights Act 1998
- Town & Country Planning (Listed Buildings & Conservation Areas) Act 1990
- Natural Environment and Rural Communities (NERC) Act 2006 (any rural site)
- The Conservation of Habitats and Species Regulations 2010
- Localism Act
- Consideration has been given to the provisions of Section 17 of the Crime and Disorder Act, 1998, in the assessment of this application but the proposal does not raise any significant issues.

Details of Previous Committee / Resolutions and any member site visit

Not applicable

Details of any Pre Application Advice

The developer sort pre-application advice prior to submitting the application. The officer advised that the development is likely to be supported subject to ensuring the development provides the appropriate level of parking and vehicular access.

Consultations and Representations

During the course of the application Consultation and Representations from third parties have been received. These are summarised below.

A: Summary of Consultations

Suffolk Wildlife Trust

Suffolk Wildlife Trust are satisfied with the findings of the consultant. They note that between the time of the 2016 ecological survey and the 2017 ecological survey the site has largely been ploughed up, this will have reduced its previous ecological value.

The 2017 ecological report (Mill House Ecology, Apr 2017) therefore provides the most up to date assessment of the condition of the site and we therefore recommend that the measures identified in that report are implemented in full, via a condition of planning consent, should permission be granted.

Stowmarket Parish Clerk

No objection raised to the grant of planning consent.

Economic Development & Tourism

No response received.

Environmental Health - Land Contamination

No objection.

SCC - Rights Of Way Department

Public Footpath 39 is recorded adjacent to the proposed development area. Rights of way have no objection to the proposal.

Bob Boardman - Ramblers Association

No comments or observations to make.

SCC - Highways

It appears that a revised Travel Plan document has not yet been submitted for consideration. Once we have an acceptable Travel Plan the conditions relating to the parking, access, surface of access, new footway to Gun Cotton Way and Travel Plan will be appropriate. Section 106 contributions will be required to secure the Travel Plan and this information will follow once an acceptable Travel Plan is approved.

SCC Highways also request financial contributions to introduce new bus stops within the Gun Cotton Way site frontage for the benefit of potential employees and visitors. To allow for construction of a bus stop base and enclosed bus shelter on each side of the road, with one real time passenger information display screen on the town bound bus stop, a total of £23,600 is requested. This breaks down to £6,800 for each stop and shelter and £10,000 for one RTPi screen.

Highways, on behalf of Rights of Way, anticipate increased use of the PROW network of as a result of the development and request the following offsite improvement works:

- o Resurfacing and widening of Stowmarket FP15: 715m length x min 3m width = 2145m² @ £25/m² = £53,625.00
- o Resurfacing of Stowmarket FP12: 1135m length x min 1.5m width = 1703m² @ £25/m² = £42,562.50
- o Resurfacing of Stowmarket FP57: 520m length x min 1.5m width = 780m² @ £25/m² = £19,500.00

Estimates based on the average market costs to provide a hoggin type surface.

Total s106 funding requested from this development is £141,138.75

SCC - Archaeological Service

The archaeological work for site 0019/17 has not yet been undertaken, so conditions from the previous consent would still be appropriate.

Officer Note- SCC Archaeology make reference to a scheme which was refused in 2016.

Anglian Water

Anglian Water advise that the site layout should accommodate this treatment centre through a necessary cordon sanitaire, through public space or highway infrastructure to ensure that no development within 15 metres from the boundary of a sewage pumping station is potentially sensitive to noise or other disturbance or to ensure future amenity issues are not created. The proposed buildings are over 20m away from the boundary of the sewage treatment works.

Anglian Water's indicate that there is potential for loss of amenity at sensitive property's within the proposed development due to odour emissions from the operation of the treatment works. Anglian Water comment that they operate their site in compliance with the highest appropriate regulatory standards and best practice. However, there is always an inherent possibility of short periods of potentially strong odours for which there is little practical mitigation. Therefore, they ask that the proposed layout maintains an effective distance of more than 400m between the sewage treatment works and the sensitive properties to minimise inconvenience to nearby dwellings and to allow the continuity of their operations.

Anglian Water confirm there is currently capacity for the development to connect to the Anglian Water Sewerage system and the surface water drainage scheme is acceptable.

The Environment Agency

No objection to the proposal and offer advice regarding foul water disposal and nearby permitted installations.

Arboricultural Officer

No objection to the proposal as there are seemingly no trees on site. An existing tree belt to the south will help screen the development and is close enough to warrant protection with a tree fencing condition.

SCC - Fire & Rescue

Access to buildings for fire appliances and firefighters must meet with the specified Building Regulations. Suffolk Fire and Rescue Authority recommends that fire hydrants be installed. This shall be implemented through a planning condition.

SCC - Flood & Water Management

Suffolk County Council provide comments that they are happy to see the changes to the side slopes gradient and the agreement in principle with Anglian Water for connection to their public surface water sewer. Also note the explanation on the safety factor in the calculations provided.

Data from the trial pits does indicate that infiltration may not be possible on site but it must be stressed that this is merely an indication.

It is recommended that detailed landscape drawing and a proposal as to how they intend to manage surface water drainage during the construction of the site is provided before a recommendation is made to approve this application.

SCC - Travel Plan Co-ordinator

The Interim Workplace Travel Plan (dated March 2017) that was submitted to support the application (MS/0019/17) for the proposed B1 commercial development at Gun Cotton Way in Stowmarket has identified some suitable measures to encourage employees to travel sustainably, however there are issues which need further clarification.

Additional details are being sought and an update will be provided to Committee either as a late paper or as a verbal update.

Environmental Health - Noise/Odour/Light/Smoke

No objection

Highways England

No objection

Avenues East

No response received.

Natural England

No objection

Environmental Health - Noise/Odour/Light/Smoke

No objection to the proposed development. It is adjacent to the Stowmarket sewage treatment works and the proposed units will experience odour from the operation from time to time. However due to the non-sensitive use this should not be an issue. Recommend conditions to control construction activity and agree hours of operation to include deliveries.

Environmental Health - Sustainability Issues

Environmental Health are satisfied that the commitment to provide 10% energy reduction from renewables meets policy requirements. Recommend that the 10% requirement is conditioned.

Suffolk Police - Design Out Crime Officers

No response received.

Suffolk Police Force Hq - Business Manager

No response received

Ecology - Place Services

Recommends that a reptile survey be completed and that the boundary hedgerow should be retained and protected. If this is not possible replacement hedgerow planting will be required.

Officer Note- Additional Ecological details were provided and further comments from Place Services-Ecology are outstanding.

Essex & Suffolk Water (Northumbrian Water)

This development is out of our area and they are not able to see where they have mains running around the area.

Cedars Park Residents Association

No response received.

EDF Energy - New Supply

No response received.

Environmental Health - Air Quality

No objection.

Infrastructure Team

The development if approved would attract a Community Infrastructure Levy at a rate of £0 per metre square.

B: Representations

Stowmarket Society- Stowmarket Society object to the development. They raise concerns regarding the design of the buildings and the potential for untidy sites. The Stowmarket Society comment that the site is very prominent and has a semi-residential setting but the buildings proposed are of utilitarian metal-clad sheds set within a large exposed site. They suggest the scheme should provide architectural quality that makes a good neighbour to existing and proposed new development, a layout that places all yards to the rear of the buildings behind screen walls, adequate provision of waste bins, cycle parking and other operational needs.

PART THREE – ASSESSMENT OF APPLICATION

From an assessment of relevant planning policy and guidance, representations received, the planning designations and other material issues the main planning considerations considered relevant to this case are set out including the reason/s for the decision, any alternative options considered and rejected. Where a decision is taken under a specific express authorisation, the names of any Member of the Council or local government body who has declared a conflict of interest are recorded.

1. The Site and Surroundings

1.1. The site lies on the southern side of Gun Cotton Way, the distributor road which provides a link between the A1120 and the B1115 Relief Road. The land is currently vacant and slopes gently towards the Stowmarket Sewage Treatment Works which lies to the west of the site. To the east on the opposite side of Gun Cotton Way is existing residential development.

1.2. The site lies within the Stowmarket Settlement Boundary and is included within the Strategic Development Area (SDA) for Stowmarket and the Stowmarket Area Action Plan. A Local Framework Agreement and Masterplan for the development of the SDA is incorporated into the adopted Local Plan. The Local Plan allocates the application site for the purposes of B1 - light industry; B2 - general industry and B8 - warehousing storage and distribution. Vacant land on either side of the application site is also designated for these purposes. Applications 4555/16 and 4556/16 seek mixed use developments on land adjacent to this site and both are under consideration.

1.3. Vehicular access to the site is available from existing roundabouts constructed on Gun Cotton Way. There is a designated wildlife site within 1 km of the application site - the Cedars Park Grassland County Wildlife Site - which is a non-statutory designation which forms part of the Local Wildlife Sites network.

2. The Proposal

2.1. Full planning permission is sought for the erection of six commercial buildings for use as either B1 or B8 business, industrial or storage uses. As detailed in the Design and Access Statement the intention is to provide the ability to sell up to 37 freehold units which can, if demand requires, be joined to form larger premises to suit market requirements. The Applicant has found that these size units are sought after along the A14 corridor and are typically occupied by start-up businesses, companies who are moving out of the owner's home and those who wish to relocate or expand their premises into an area with good transport links. The individual units range in size from 120m² to 439m² with a total internal floor area of 5643m². As a speculative development the activities which will take place on site are not established.

2.2. The new units are to be located centrally through the site with a maximum height of 8.8m. Due to the topography of the site the buildings ridge heights will be stepped. The units also have stepped frontages with units A, D and F being positioned further away from the road. The buildings are typical style industrial units with goosewing grey colour profiled steel roof and wall sheeting with dark blue detailing, doors, window frames and guttering. Photovoltaic solar panels are to be installed on the southern roof slopes of the units.

2.3. It is proposed to retain the existing vehicular accesses from the two existing arms of two roundabouts on Gun Cotton Way. The northern access point which serves the sewage treatment works will be widened to allow two vehicles to pass and provide separate access to the plant. A new access road within the site will connect the two arms of the roundabouts and provide a circular route around the six buildings. A minimum of five parking spaces per unit is to be provided; with 208 in total. A new footway is to be provided along the southern edge of Gun Cotton Way along the site boundary. The existing hedgerow to the east, tree belt to the south and newly planted hedgerow to the north are to be retained. Additional planting is to be provided within the site.

3. National Planning Policy Framework

3.1. The National Planning Policy Framework (NPPF) contains the Government's planning policies for England and sets out how these are expected to be applied. Planning law continues to require that applications for planning permission are determined in accordance with the Development Plan unless material considerations indicate otherwise. The policies contained within the NPPF are a material consideration and should be taken into account for decision-making purposes.

4. Core Strategy

4.1. Core Strategy 2008-

- * FC01 - Presumption In Favour Of Sustainable Development
- * FC01_1 - Mid Suffolk Approach To Delivering Sustainable Development
- * FC03 - Supply Of Employment Land
- * CS01 - Settlement Hierarchy
- * CS03 - Reduce Contributions to Climate Change
- * CS04 - Adapting to Climate Change
- * CS05 - Mid Suffolk's Environment
- * CS06 - Services and Infrastructure

5. Neighbourhood Plan/Supplementary Planning Documents/Area Action Plan

5.1. Stowmarket Area Action Plan 2013-

- * SAAP Policy 4.1- Presumption in Favour of Sustainable Development
- * SAAP Policy 4.2- Providing a Landscape Setting for Stowmarket
- * SAAP Policy 7.1- Sustainable Employment Sites
- * SAAP Policy 7.7- Local Plan Employment Allocations
- * SAAP Policy 7.8- Cedars Park Employment Site
- * SAAP Policy 8.2- A14 Trunk Road
- * SAAP Policy 9.1- Biodiversity Measures
- * SAAP Policy 9.5- Historic Environment

6. Saved Policies in the Local Plans

6.1. Mid Suffolk Local Plan 1998-

- * SB2 - Development appropriate to its setting
- * GP1 - Design and layout of development
- * HB1 - Protection of historic buildings
- * E02 - Industrial uses on allocated sites
- * E03 - Warehousing, storage, distribution, and haulage depots
- * E04 - Protecting existing industrial/business areas for employment generating uses
- * E09 - Location of new businesses
- * E12 - General principles for location, design, and layout
- * SDA03 - Comprehensive development within the SDA
- * SDA04 - Sustainable development
- * SDA06 - Employment Land
- * SDA08 - Principle issues to be included in SDA
- * SDA01 - Programmed B1115 Relief Road
- * SDA02 - Funding for B1115 Relief Road

7. The Principle Of Development

7.1. The application site is identified for use for employment purposes within the Mid Suffolk Local Plan 1998 and the Stowmarket Area Action Plan 2013. The site forms part of a parcel of land to the south of Gun Cotton Way which is allocated as 'Employment Land' in Local Plan Policy SDA6 for the purposes of General Industrial [B2], Light Industrial [B1]; and Storage/Warehousing [B8] businesses. The site is also designated under policy SAAP Policy 7.8- Cedars Park Employment Site, of the Stowmarket Area Action Plan (SAAP). Policy 7.8 states that the council will actively promote and encourage development in appropriate use classes on the allocated employment land that is likely to meet the future needs of the

district, be consistent with other policies in the development plan and make a positive contribution to the relevant objectives of the SAAP. Policy SAAP 7.8 also sets out that future development proposals for the Cedars Park Site will require a development brief that must address aspects regarding the sewage treatment works, compatibility of uses with the amenity of nearby residential uses, the need to incorporate high standards for sustainable development, flexible design for employment spaces and management and protection of biodiversity.

7.2. The development will form a physical barrier between the residential properties opposite the site and the sewage treatment works. The proposal will provide flexibility of employment uses with a range unit sizes within the six buildings for either B1(c), light industrial uses and B8 storage. These are targeted towards affordable starter and grow-on units for new and expanding businesses. The proposal therefore provides flexibility to meet the needs of business in the district.

In terms of sustainable development, the scheme includes solar panels on the southern roof slope to provide 10% renewable energy. A Travel Plan is also to be implemented providing incentives for employees to use sustainable modes of transport. Furthermore, a new footway is to be constructed along the road frontage connecting the site with existing footways and cycle path in Cedars Park. The site is within walking distance of bus stops, Stowmarket railway station and the town centre of Stowmarket.

7.3. It should be noted that permission has been granted previously for a similar scheme in 2005 (ref. 2463/05) for 1 warehouse and 5 trade units with associated offices and car parking and a similar scheme in 2011 (ref. 0711/11).

7.4. Consequently, it is considered that the site is an appropriate location for industrial and commercial development and would constitute a sustainable employment site as set out in policy 7.1 and 7.8 of the SAAP.

8. Site Access, Parking And Highway Safety Considerations

8.1. Access will be provided from two existing roundabouts on Gun Cotton Way. The access road from one roundabout will be widened to allow for two-way traffic. 208 car parking spaces are to be provided. This exceeds the adopted parking standards should the whole development comes forward as B1 units. B1 units require more parking per square metre of floor area to B8 units. Gun Cotton Way is an unclassified road with a speed restriction of 30mph. The road has been designed to provide access to Tomo Industrial Estate and residential development. Cycle and pedestrian footways are provided along the length of the northern edge of this road.

8.2. A Transport Assessment was submitted following comments raised by SCC Highways. The Transport Assessment provides details of the likely traffic generation and information regarding the surrounding highway network including road traffic collisions or incidents. The report also provides diagrams to show the ability for a 16.5m articulated HGV to manoeuvre into, around and out of the development site. The layout plan was updated to show bin and cycle storage areas between the two units. SCC Highways are subsequently satisfied with the proposed scheme and have recommended appropriate conditions.

8.3. The new road into the site provides a circular route around the buildings. The Tesco's unit located adjacent to the A1120 has recently installed security gates to the car park due to anti-social behaviour and nuisance behaviour at night. Due to the circular nature of the new road layout anti-social behaviour may also cause a problem within the site. Especially with the units and road facing the sewage treatment works. As such security gates or barriers should be installed to prevent or deter anti-social behaviour and provide security to the business units. This can be secured via a condition.

8.4. The highway network can accommodate the increased level of vehicular activity, the road layout within the site is appropriate for the vehicular movements, and the level of parking meets the adopted parking standards. Therefore, the proposed development is acceptable under Policies T9 and T10 of the Mid Suffolk Local Plan 1998 and National Planning Policy Framework, subject to the conditions as recommended by the Highways Engineer.

8.5. The site is well linked to Stowmarket railway, town centre, bus stops and pedestrian and cycle paths. The development will provide a new footway along the road frontage connecting the site with the existing pedestrian footway and cycle network. This is in accordance with SAAP Policy 8.1. Improvements to the existing bus stops, as requested by SCC Highways (bus shelters and real time passenger information screens) can be secured by County through the Community Infrastructure Levy.

8.6. A Travel Plan was also submitted following comments raised by SCC Highways and the County Travel Plan Co-ordinator. Several details are to be clarified with the County Travel Plan Co-ordinator prior to determining the application. A S106 Agreement alongside an appropriate condition will secure contributions to implement the Travel Plan.

9. Design, Layout, and Visual Impacts

9.1. The proposed buildings will have a substantial built form and are of a utilitarian design reflective of their commercial use. The stepped ridge heights and frontages along with the setback of the buildings by more than 20m from the road and proposed landscaping will limit any visual impact from the commercial units. The buildings are also of moderate height with a maximum ridge height of 8.8m. Due to the topography of the locality this height is comparable to the residential dwellings opposite. Furthermore, the position and scale of the buildings will also not detrimentally affect important views of Stowmarket. Whilst the layout secures parking to the front of the units, given the scale of the buildings and the proposed landscaping, the development will not appear overly car-dominant.

9.2. Stowmarket Society object to the development. They raise concerns regarding the design of the buildings and the potential for untidy sites. The Stowmarket Society comment that the site is very prominent and has a semi-residential setting but the buildings proposed are of utilitarian metal-clad sheds set within a large exposed site. They suggest the scheme should provide architectural quality that makes a good neighbour to existing and proposed new development, a layout that places all yards to the rear of the buildings behind screen walls, adequate provision of waste bins, cycle parking and other operational needs.

9.3. The layout provides for six buildings with the flexibility of providing up to 37 small units. Subsequently some units will face southwards away from the residential properties. The areas to the front of each unit are for parking vehicles and deliveries; not as outside storage space. A condition will be added accordingly to prevent outside storage as to avoid untidy sites.

9.4. The application seeks a flexible approach to allow for the use and size of the units to meet the business needs of the district. As such the buildings appear functional and simplistic as to allow for this flexible use but also remain affordable. Whilst the buildings are functional and not of significant architectural merit they are reflective of their intended commercial use.

9.5. Local Plan Policy SDA4 seeks to encourage reinforced planting along the boundaries of sites and near distributor roads within the site - an aspiration which is repeated within the Masterplan for Cedars Park.

9.6. The existing hedgerow and trees are to be retained and protection measures will be secured via condition. The newly planted hedgerow along the north will be continued along with planting within the site. Comprehensive hard and soft landscaping details will be secured through a condition along with a condition to secure the implementation of the approved landscaping.

9.7. Taking account of the design and layout, together with the landscaping, it is considered that the design, layout, and visual impact of the proposal is acceptable.

10. Impact on residential amenity]

10.1. Due to the flexible approach to the end-uses of these units' precise details of the operating hours are unknown. Previous permission 0711/11 secured working hours for the site to be 07:30 to 18:00 hours with weekend working on Saturdays between 08:00 and 13:00 hours. Given the residential properties near the site similar hours are likely to be accepted but should be assessed depending on the final use of the units (B8 or B1). The Council's Environmental Health Officer has confirmed that a condition securing the hours of operation are acceptable.

10.2. Hours regarding construction however should be restricted to between 08:00 and 18:30 hours Monday to Friday, 08:00 to 13:00 hours Saturday, no working Sunday, or Bank Holidays. A construction Management Plan is also to be secured by condition to ensure the level of impact on nearby residents during construction is limited.

10.3. Officers note the proximity of the application site to existing residential development, and that the architecture of the commercial buildings proposed is of a different scale of the residential properties. However, it is considered that this relationship will be acceptable and that there will be minimal impact on existing residential amenity.

10.4. Regarding disturbance to residential properties arising from noise and light, it is acknowledged that Gun Cotton Way already carries some commercial traffic, and that the net increase in additional traffic is unlikely to significantly exacerbate the existing situation. Similarly, planning conditions can be applied to control any outside lighting. Environmental Health have not raised any requirements in terms of noise restrictions. This is because the B1 (C) and B8 uses are use which can be carried out in a residential area without detriment to the amenity of that area by reason of noise, vibration, smell, fumes, smoke, soot, ash, dust, or grit.

10.5. The development is close to the sewage treatment works and will experience levels of odour. Anglian Water advise that the site layout should accommodate this treatment centre through a necessary cordon sanitaire, through public space or highway infrastructure to ensure that no development within 15 metres from the boundary of a sewage pumping station is potentially sensitive to noise or other disturbance or to ensure future amenity issues are not created. The proposed buildings are over 20m away from the boundary of the sewage treatment works.

10.6. Anglian Water indicate that there is potential for loss of amenity at sensitive property's within the proposed development due to odour emissions from the operation of the treatment works. Anglian Water comment that they operate their site in compliance with the highest appropriate regulatory standards and best practice. However, there is always an inherent possibility of short periods of potentially strong odours for which there is little practical mitigation. Therefore, they ask that the proposed layout maintains an effective distance of more than 400m between the sewage treatment works and the sensitive properties to minimise inconvenience to nearby dwellings and to allow the continuity of their operations. MSDC Environmental Health advise that this is not a sensitive end use and as such odour is unlikely to have an adverse impact. However permitted development rights to change use should be removed in order to control the future use of these buildings in relation to the sewage treatment works.

10.7 Based on the above evaluation, officers are satisfied that the proposed development accords with Local Plan Policy H16, H17 and CS4 which seek to protect residential areas by preventing development that would materially reduce the amenity and privacy of adjacent dwellings and to avoid conflict with adjacent land uses.

11. Flood Risk Issues

11.1. A Flood Risk Assessment was submitted with the application. The report details that the proposed site is in Flood Zone 1 and that combined with the mitigation measures detailed in the report will result in low risk to the site users. The report also concludes that infiltration drainage and discharge to watercourse are not considered appropriate methods of dealing with surface water drainage. Anglian Water asset plans detail that a surface water sewer crosses the site. The surface water drainage design for the masterplan for the Cedar Park development area comprises pipe networks and storage basins designed to contain runoff from the entire Cedar Park development area (including the application site). This scheme was approved by Anglian Water and the Environment Agency.

11.2. The surface water runoff from the site will discharge into filter drains which will enable limited infiltration and convey the surface water to the detention basin prior to the surface water out-falling into the Anglian Water system. The drainage system is designed to contain up to and including the 1 in 100-year rainfall event including climate change. To prevent pollution to the surface waters underlying geology and groundwater an appropriate level of water treatment has been incorporated into the design. The development will also include two swales to the central vehicular access to provide exceedance storage for storms greater than 1 in 100-year storm plus climate change and overland flow routes.

11.3. Following comments raised by SCC Floods further details were provided. This include details of an agreement in principle with Anglian Water for connection to their public surface water sewer. Permeable paving was also incorporated into the design and the swales were amended to have a 1 in 4 bank slope. SCC Floods requested that detailed landscaping and details of how surface water will be managed during construction should be provided prior to recommending approval of the scheme.

11.4. The agent however highlighted that the order and phasing of the development is currently unknown as construction phases will be dictated by the market at the time when construction is programmed. It is considered acceptable therefore to secure details of the management of surface water during construction prior to commencement of any works. The same is also considered for detailed landscaping plans. Anglian Water confirm that the proposed surface water drainage scheme is acceptable

11.5. The Environment Agency raised concerns regarding the capacity for connecting the development to the Anglian Water sewerage system. Anglian Water advise that the sewerage system at present has available capacity for these flows. If the developer wishes to connect to Anglian Water's sewerage network, they should serve notice under Section 106 of the Water Industry Act 1991.

11.6. As such the surface water drainage scheme shall accord with the Flood Risk Assessment, the Addendum, and associated drawings 21400/821 and 822.

12. Impact on Ecology

12.1. An Ecological Assessment was submitted with the application but a further appraisal was submitted to address comments raised by Suffolk Wildlife Trust and Places Services. The amended report identifies that since the previous assessment the site has been ploughed due to management requirements. Suffolk Wildlife Trust advise that is likely to have reduced ecological value. The Ecology Assessment clarifies that the site supports no plant species of moderate or high conservation value. The existing

hedgerow and scrub immediately adjacent to the southern site boundary where there is a fence, and new hedgerow has been planted, provide potential nesting bird habitat and bat commuting/foraging habitat. The discrete areas of ruderal habitat provide foraging and refuge habitat for hedgehog, whilst amphibians (e.g. common toad) and reptiles (e.g. grass snake) may utilise these areas. The arable field has the potential to support skylark and brown hare. Mitigation and enhancement measures are detailed to improve the ecological value of the site and protect species during and after construction.

12.2. Consultation advice received on behalf of the Suffolk Wildlife Trust confirms the acceptability of the ecological survey report. In accordance with the advice received, a planning condition can be attached to the grant of planning permission which requires the recommendations set out in the report to be implemented. A further condition is recommended which requires details of external lighting, to ensure that light spill onto corridors to be retained for foraging/commuting bats is minimised. Based on the above, the proposal is considered acceptable regarding biodiversity issues.

13. Archaeology

13.1. The application 2375/15 which was refused included an archaeological desk based assessment as part of the planning application submission. This assessment acknowledged that the site may contain un-designated sub-surface archaeological features, given that the site lies immediately adjacent to a later Iron Age and Roman farmstead complex. Any groundworks associated with the proposed development therefore have the potential to cause damage or destruction to any underlying archaeological assets.

13.2. In accordance with the National Planning Policy Framework suitable planning conditions can be attached to the grant of planning permission, which requires the recording of any heritage assets before they are damaged or destroyed.

14. Planning Obligations / CIL

14.1. The proposed development seeks to provide a footway connection along the road frontage. This is partially within the site and partially on highways land. It is considered acceptable that this can be provided through a planning condition.

14.2. Contributions towards the Travel Plan shall be agreed and secured through a Section 106 agreement. The contribution meets the necessary tests as reasonable and relevant to the development. The Travel Plan is specific to the site and assists in ensuring the development encourages the use of sustainable modes of transport.

14.3. SCC Highways recommended that contributions be sought to upgrade public footpaths within the vicinity. The footpaths put forward for improvement is footpath 15 which extends north of the site along the boundary with Tomo Industrial Estate and behind the sewage treatment works. The other footpaths are along the River Gipping the other side of the railway line to this application site. This contribution is considered unreasonable given the industrial use of these buildings and the existing provision of footways to the site, especially footways and cycleways from the railway station and Stowmarket town centre. The existing footways give a direct and more convenient route to the development site. Additionally, given the nature of the site for employment it is considered unlikely that there will be a significant increase in activity along these public right of ways to warrant such extensive footpath improvements. Furthermore, the footpath along the River Gipping, whilst an attractive walk, is unlikely to be used by employees walking or cycling to work given the railway line forming a barrier between this right of way and Cedars Park. It is more likely employees opting to walk or cycle will cross over the railway line in Needham or Badley and walk along the B1113 which is the designated cycle route and up the A1120 utilising the existing footway and cycle path connections.

14.4. Highways also requested contributions towards the provision of bus shelters and real time passenger information screens. These improvements fall within the Community Infrastructure Levy and can be secured by County through a successful bid.

14.5. In accordance with the Community Infrastructure Levy Regulations, 2010, the obligations recommended to be secured by way of a planning obligation deed are (a) necessary to make the Development acceptable in planning terms (b) directly related to the Development and (c) fairly and reasonably relate in scale and kind to the Development.

16. Details Of Financial Benefits / Implications (S155 Housing and Planning Act 2016)

16.1. The proposal will provide contributions to Suffolk County Council in order to secure the Travel Plan. The development will also lead to additional business rates to the District Council, County Council and Town Council.

PART FOUR – CONCLUSION

17. Statement Required By Article 35 Of The Town And Country Planning (Development Management Procedure) Order 2015.

17.1. When determining planning applications The Town and Country Planning (Development Management Procedure) (England) Order 2015 requires Local Planning Authorities to explain how, in dealing with the application they have worked with the applicant to resolve any problems or issues arising.

17.2. In this case the planning authority worked with the agent to resolve issues raised by SCC Highways, SCC Floods and Ecology.

18. Identification of any Legal Implications and/or Equality Implications (The Equalities Act 2012)

18.1. It is not considered that there are any legal or equality implications with the determination of this application.

19. Planning Balance

19.1. The development proposal would make efficient use of an allocated employment site within the Stowmarket Strategic Development Area (SDA) and Stowmarket Area Action Plan. The scheme design and layout proposed, in conjunction with the proposed Section 106 planning obligations and associated framework of conditions, is considered to satisfactorily address all the planning concerns raised.

19.2. The proposal is considered to deliver sustainable development in line with National Planning Policy Framework, the Mid Suffolk Local Plan 1998, Stowmarket Area Action Plan 2013 and Core Strategy 2008. On this basis, the proposal is acceptable and in accordance with Development Plan policies.

RECOMMENDATION

That authority be delegated to Corporate Manager - Growth & Sustainable Planning to GRANT Full Planning Permission subject to the agreement of the Travel Plan as may be agreed, prior completion of a

Section 106 to provide such contributions to the Travel Plan and that such permission be subject to the conditions as set out below:

- * Time Limit
- * Accord with approved plans and documents
- * Agree details and construct new footway along Gun Cotton Way
- * Access constructed in accordance with approved plan and retained thereafter
- * Agree surface to new access and implement
- * Travel Plan to be agreed and implemented
- * Parking to be provided prior to occupation and thereafter retained
- * Written Scheme of Investigation (Archaeology) to be agreed prior to commencement of works and completed
- * Details of Archaeological investigation to be agreed prior to occupation
- * Details of proposed use and floor area of each unit to be agreed prior to first use and retained.
- * Removal of PD Rights for uses outside of B1 and B8 use classes.
- * Working and delivery hours to be agreed prior to first use of the respective unit and operated in accordance with the approved hours
- * Construction hours to be 0800-18:30 Monday to Friday and Saturday 0800-1300 with no working on bank holidays or Sundays
- * No external storage
- * Construction Management Plan to be agreed prior to commencement of use and implemented
- * Biodiversity mitigation measures and enhancement measures to be implement in accordance with the ecology appraisal received 17 March 2017.
- * Details of external lighting to be agreed and no other lighting installed including lighting to advertisements or signage.
- * Details of barriers and gates to be installed prior to occupation
- * Details of hard and soft landscaping to be agreed prior to commencement of works
- * Approved landscaping to be implemented including replanting of any dead or dying plants
- * Foul and Surface Water Drainage to be implemented in full accordance with the FRA, addendum and approved drainage plans. To be managed in accordance with the FRA.
- * Details of surface water drainage during construction to be agreed prior to commencement of use and implemented accordingly.
- * Tree Protection Measures to be agreed prior to commencement and implemented accordingly
- * Sustainability measures to be agreed and implemented (refer to Environmental Health- Sustainability comments).
- * Provision of fire hydrants to be agreed prior to occupation and implemented

Application No: 0019/17

**Address: Land South of Gun Cotton
Way
Stowmarket
IP14 5UL**

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Verbal Updates:

- Confirmation and summary of any 3rd Party representations received not previously issued to members.
- Confirmation and summary of any consultee responses received not previously issued to members
- Confirmation of any changes to recommendation, conditions or reasons.

Existing Site Location Plan

Slide 3

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LEG

---	Proposed Boundary
---	Existing Boundary
---	Proposed Access
---	Existing Access
---	Proposed Road
---	Existing Road
---	Proposed Footpath
---	Existing Footpath
---	Proposed Drainage
---	Existing Drainage
---	Proposed Sewer
---	Existing Sewer
---	Proposed Water
---	Existing Water
---	Proposed Gas
---	Existing Gas
---	Proposed Electricity
---	Existing Electricity
---	Proposed Telecommunications
---	Existing Telecommunications
---	Proposed Other Services
---	Existing Other Services
---	Proposed Other Infrastructure
---	Existing Other Infrastructure
---	Proposed Other Features
---	Existing Other Features

PROJ. DATA

Project Name	Commercial Development Gun Cotton Way
Client	Atex Developments Ltd.
Site No.	21400/001
Scale	1:500
Date	23-12-2016
Drawn By	NPG
Checked By	
Approved By	

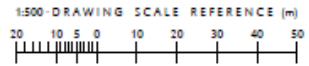
REVISIONS

No.	Description	Date
0	Issue for Planning	23-12-2016



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Ordinance Survey
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This plan is based on topographical survey carried out by Thornley Design Services, Drawing No. 19420/010 (February 2014)

No.	Date	By	Description
0	23-12-16	NPG	Issue for Planning

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a/e/s - structural - environmental

Client: **ATEX DEVELOPMENTS LTD.**

Project: **COMMERCIAL DEVELOPMENT GUN COTTON WAY, STOWMARKET, SUFFOLK**

Drawing Title: **SITE LAYOUT PLAN AS EXISTING**

Scale	Date	Drawn By
1:500 (A1)	23-12-2016	NPG
Drawing No.	21400/001	Rev 0

Proposed Site Location Plan

Slide 4

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SITE LOCATION PLAN (1:2500)

Ordinance Survey
 The proposed site is located on the corner of the
 following road (1:10k, 1:50k & 1:250k)
 The information on this map is derived from the
 Ordnance Survey data and is not a substitute for a
 site visit. The information is for reference only.
 The Ordnance Survey data is not a substitute for a
 site visit. The information is for reference only.
 The Ordnance Survey data is not a substitute for a
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A	27/03/17	1:500	Planning/ Public/ Revised Drawings and I/M Plans
E	23/12/16	1:500	Public Cycle and Bus Route
Rev	Date	Scale	Description

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a/e - structural - environmental

Client
ATEX DEVELOPMENTS LTD.

Project
**COMMERCIAL DEVELOPMENT
 GUN COTTON WAY,
 STOWMARKET, SUFFOLK**

Drawing Title
**BLOCK PLAN (DIMENSIONED)
 AND SITE LOCATION PLAN**

Scale	Date	Drawn By
1:500 U.N.O. (A1)	23-12-2016	NPG
Drawing No.	Rev	
21400/009	A	

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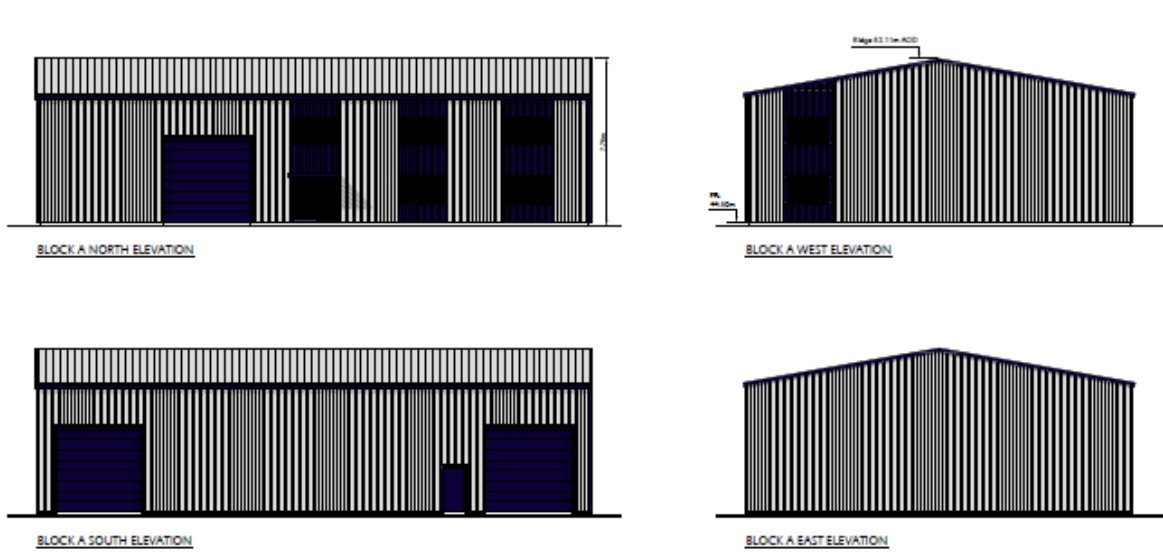
Constraints Map

Slide 5





Block A Floor Layout & Elevations



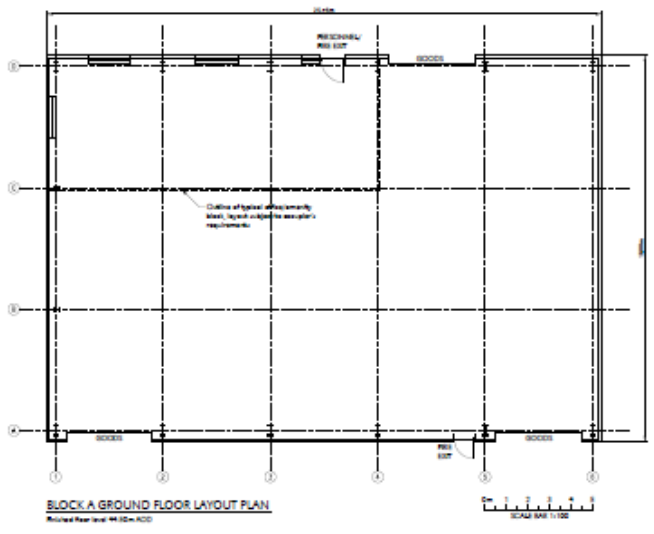
MATERIALS AND FINISHES

Roof Cladding: Clay coated profile steel composite cladding with 125 DWP insulating PV solar panels on each facing roof slope.

Wall Cladding: Clay coated profile steel composite cladding.

Clare, Windows, Doors and Partings: Composite clad metal aluminium (PVC) steel frame and manufacturing.

Page 86



0	22-12-16	196	Final Issue (Revised)
Rev	Date	Drawn	Checked

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civil - structural - environmental

Client
ATEX DEVELOPMENTS LTD.

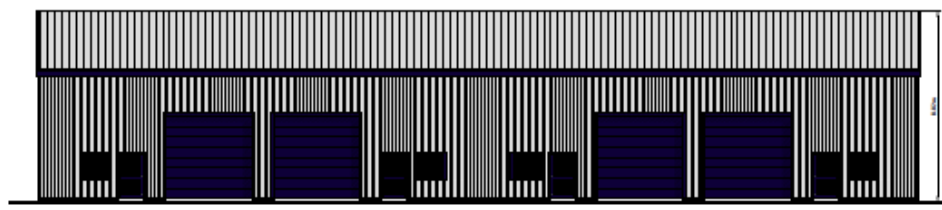
Project
**COMMERCIAL DEVELOPMENT
GUN COTTON WAY,
STOWMARKET, SUFFOLK**

Drawing Title
**BLOCK A FLOOR LAYOUT PLAN
AND ELEVATIONS**

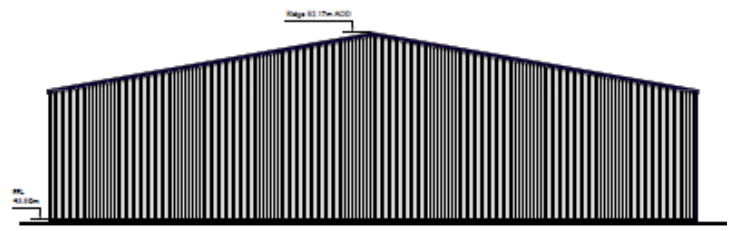
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Drawing No. 21400/003	Rev 0	



Block B Floor Layout & Elevations



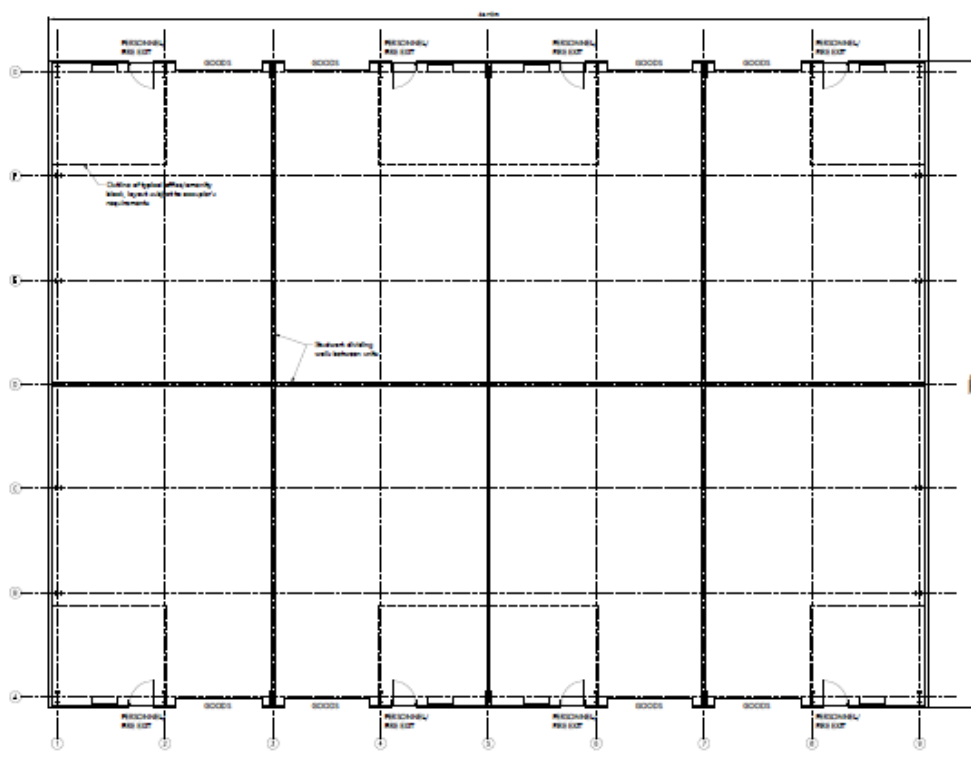
BLOCK B NORTH/SOUTH ELEVATION



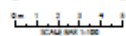
BLOCK B EAST/WEST ELEVATION

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BLOCK B GROUND FLOOR LAYOUT PLAN
 Finished Floor level 43.10m ACD



MATERIALS AND FINISHES

- Roof Cladding: Clay coated profiled steel composite decking with 125mm lightweight PU solar panel insulation facing roof slope.
- Wall Cladding: Clay coated profiled steel composite decking.
- Clare, Windows, Glazing and Partitions: Composite Glazement aluminium (PVC) and frames and hardware.

0	201516	NPG	Pre/Issue (Planning)
Rev	Date	By	Checked

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a/e/i - structural - environmental

Client
ATEX DEVELOPMENTS LTD.

Project
**COMMERCIAL DEVELOPMENT
 GUN COTTON WAY,
 STOWMARKET, SUFFOLK**

Drawing Title
**BLOCK B FLOOR LAYOUT PLAN
 AND ELEVATIONS**

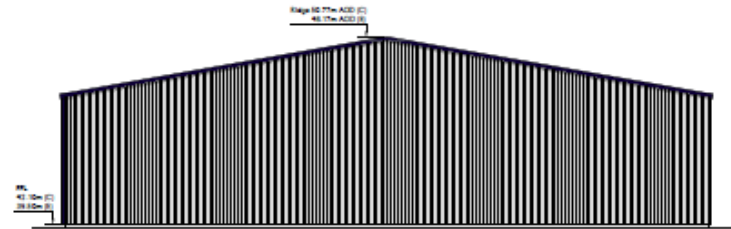
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Drawing No 21400/004	Rev 0	

Block C & E Floor Layout & Elevations

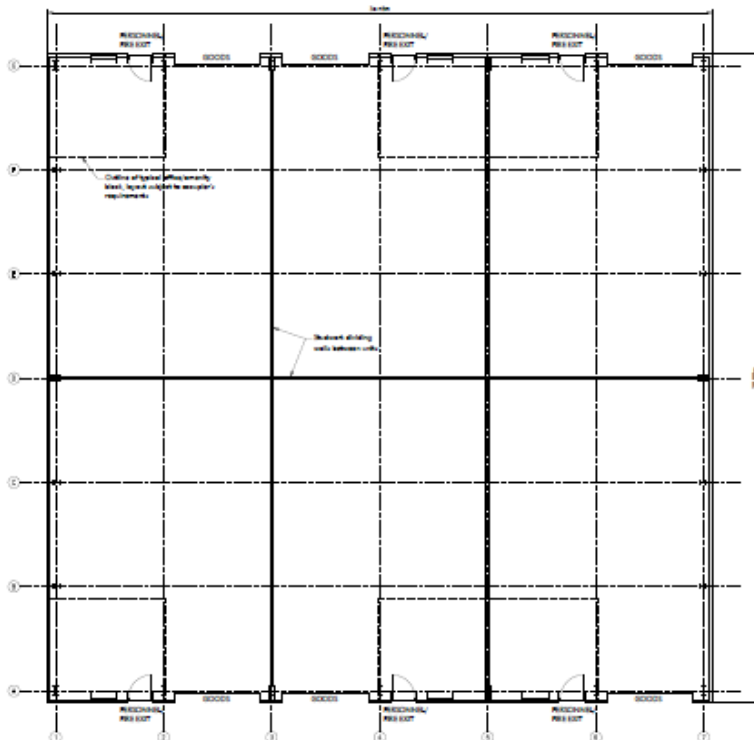
Slide 10



BLOCKS C & E NORTH ELEVATION
North elevation (order left hand)



BLOCKS C & E EAST/WEST ELEVATION



BLOCKS C & E FLOOR LAYOUT PLAN
Proposed Floor level +0.125m ACD for Block C, +0.00m ACD for Block E

The information on this sheet is for the design of the building and is not to be used for any other purpose without the written consent of the design team.

MATERIALS AND FINISHES

- Roof Cladding: Grey coated profiled steel composite cladding with 125mm insulation, PV solar panels on south facing roof slope.
- Walls Cladding: Grey coated profiled steel composite cladding.
- Clare, Windows, Glazing and Fixings: Targem Blue coated aluminium/PVCU steel frame and internal glazing.

Rev.	Date	By	Check	Description
0	22-12-16	NPG		Final Issue (Planning)

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a/e - structural - environmental

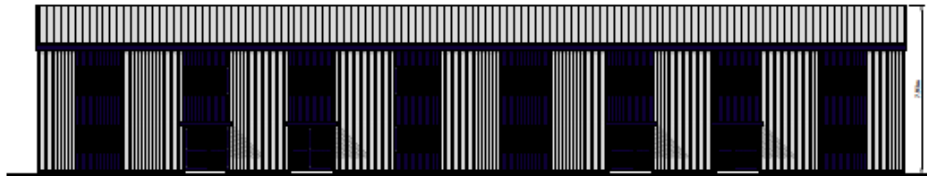
Client: **ATEX DEVELOPMENTS LTD.**

Project: **COMMERCIAL DEVELOPMENT
GUN COTTON WAY,
STOWMARKET, SUFFOLK**

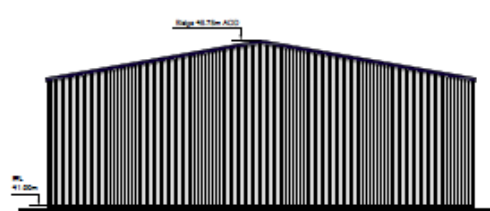
Drawing Title: **BLOCKS C & E FLOOR LAYOUT
PLAN AND ELEVATIONS**

Scale: 1:100 U.N.O. (A1)	Date: 22-12-2016	Drawn By: NPG
Drawing No: 21400/005	Rev: 0	

Block D Floor Layout & Elevations



BLOCK D NORTH ELEVATION



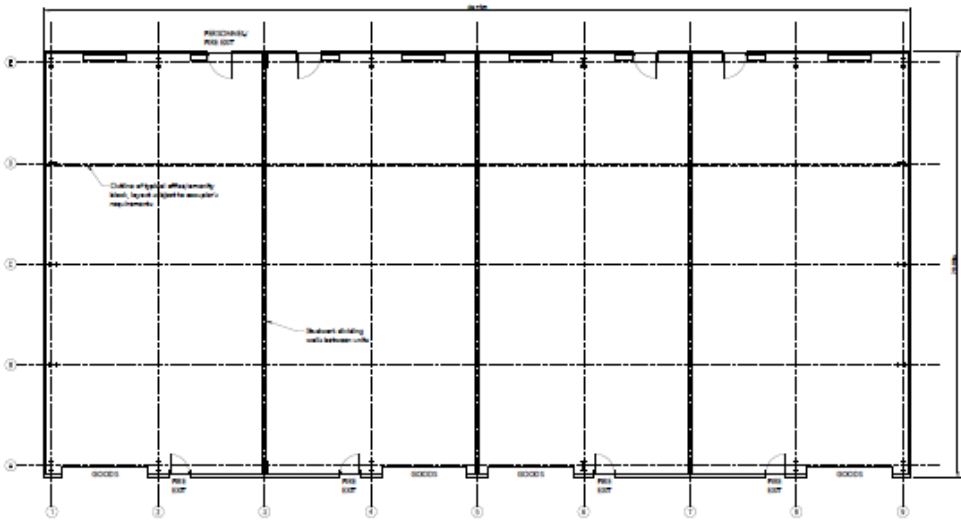
BLOCK D EAST/WEST ELEVATION

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BLOCK D SOUTH ELEVATION

EXTERIOR AND FINISHES
 Walls: Concrete/Clay, coated profiled steel composite cladding with 125mm EPS insulating PU color panels on cast-in-situ roof slope.
 Walls: Concrete/Clay, coated profiled steel composite cladding.
 Doors: Windows, Sillars and Facings: Terrazzo Blue sealed aluminium (PVC) steel frames and aluminium cladding.



BLOCK D GROUND FLOOR LAYOUT PLAN
 Richard Row 1:100 A11 00m A100



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0	22-12-16	NPG	Production (Planning)
Rev	Date	Drawn	Checked

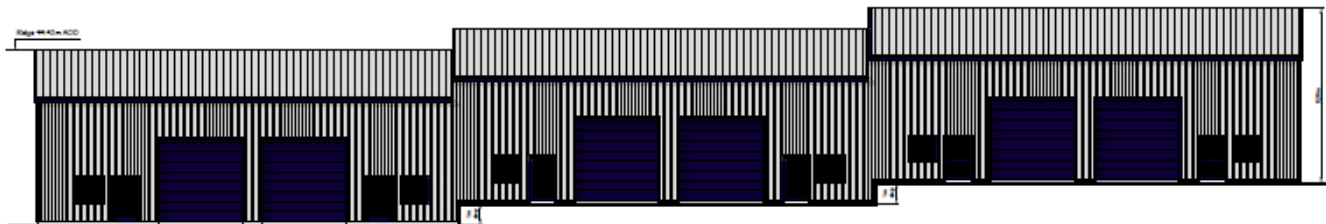
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 Email: info@plandesca.co.uk www.plandesca.co.uk

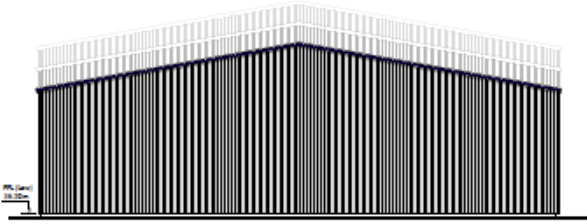
a/e/i - structural - environmental

Client	ATEX DEVELOPMENTS LTD.		
Project	COMMERCIAL DEVELOPMENT GUN COTTON WAY, STOWMARKET, SUFFOLK		
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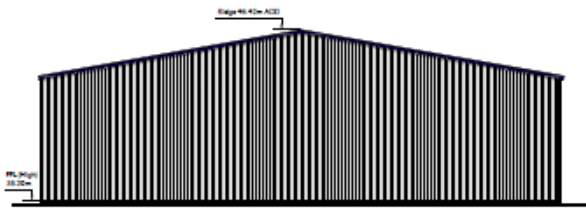
Block F Floor Layout & Elevations



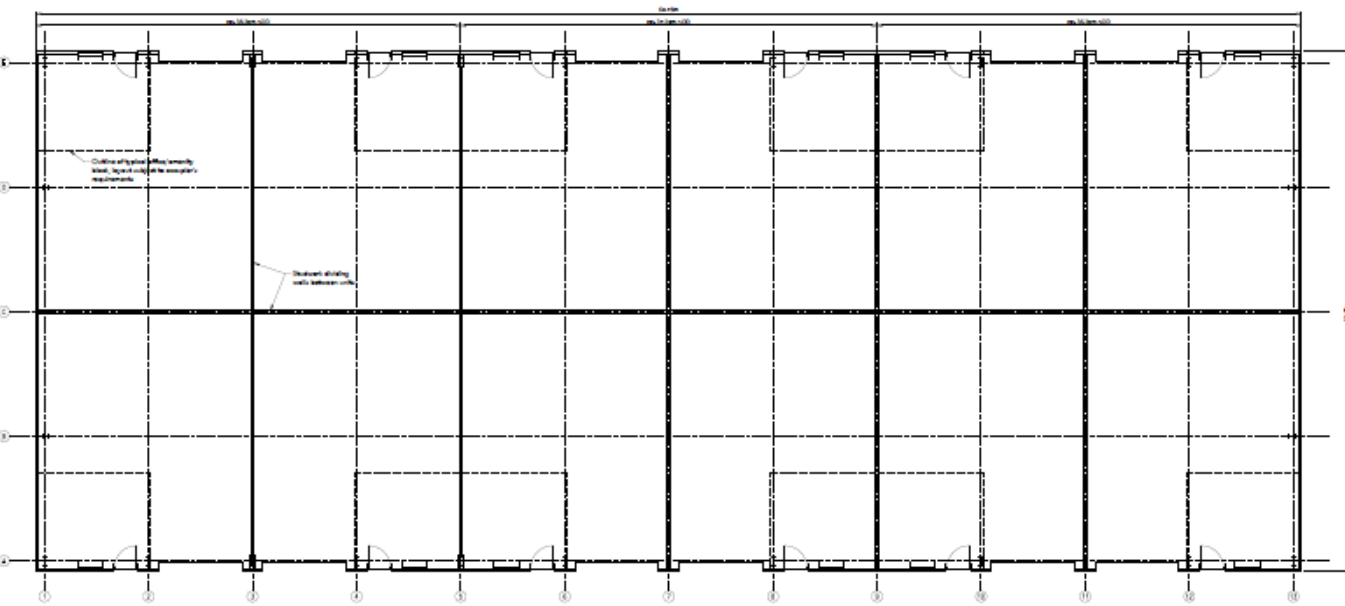
BLOCK F NORTH ELEVATION
Scale: 1:100 (as per block layout)



BLOCK F EAST ELEVATION



BLOCK F WEST ELEVATION



BLOCK F GROUND FLOOR LAYOUT PLAN
Structural details only, see plan above

0 The information contained herein is for the use of the client only and is not to be used for any other purpose without the written consent of the consultant.

GENERAL NOTES:
 1. Earth Retaining Clay coated profiled steel composite decking with 125 UTR and reinforcing 'P' under panels on each facing roof slope.
 2. Wall Retaining Clay coated profiled steel composite decking.
 3. Claws, Trusses, Gables and Flashings (Separate Block under construction 'P'CL) steel frames and timber cladding.

Page 90



0	22/12/16	NPG	Production (Planning)
Rev.	Date	Drawn	Description

plandesail
consulting engineers

Connaught Road, Aylesbury, Bucks, MK17 2JH
 Telephone: 01295 410201 Fax: 01295 410202
 Email: info@plandesail.co.uk www.plandesail.co.uk

civil - structural - environmental

Client: **ATEX DEVELOPMENTS LTD.**

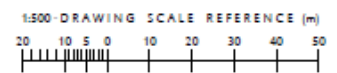
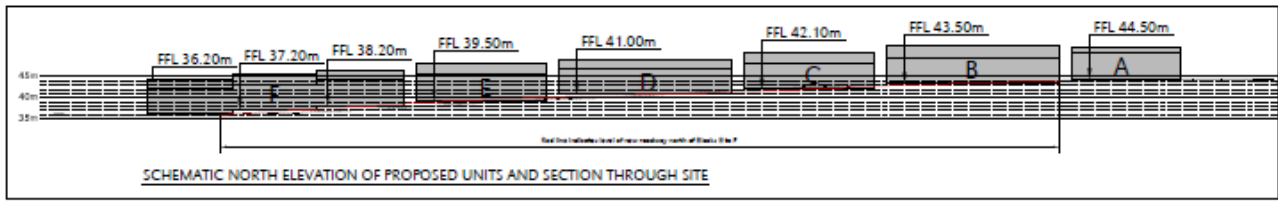
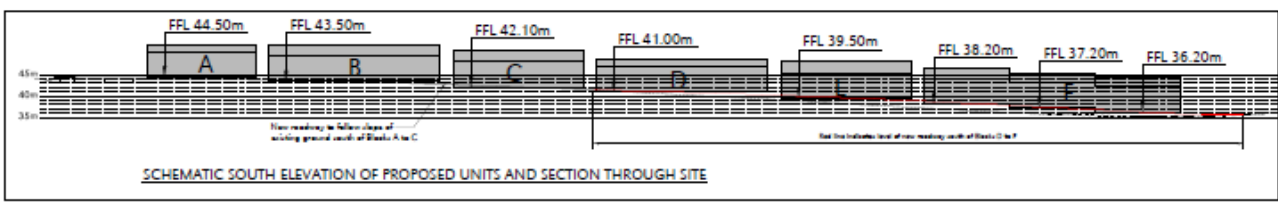
Project: **COMMERCIAL DEVELOPMENT
 GUN COTTON WAY,
 STOWMARKET, SUFFOLK**

Drawing Title: **BLOCK F FLOOR LAYOUT PLAN
 AND ELEVATIONS**

Scale:	1:100 U.N.O. (A1)	Date:	22-12-2016	Drawn By:	NPG
Drawing No:	21400/007	Rev:	0		

Site Section Elevations - Proposed

Page 91



This plan based on topographical survey carried out by Thursday Design Services, Drawing No. 14/2140/00 February 2016

No.	Date	By	For Issue / Revision	Description
0	23-12-16	NPG	Final Issue (Planning)	

plandesail
consulting engineers

Coronation Road, Andover, Hampshire, GU10 2JH
Telephone: 01264 410021 Fax: 01264 410033
Email: info@plandesail.co.uk www.plandesail.co.uk

a/e - structural - environmental

Client			
ATEX DEVELOPMENTS LTD.			
Project			
COMMERCIAL DEVELOPMENT GUN COTTON WAY, STOWMARKET, SUFFOLK			
Drawing Title			
SITE SECTION ELEVATIONS AS PROPOSED			
Scale	Date	Drawn By	Check By
1:500 (A1)	23-12-2016	NPG	
Drawing No.	21400/008	Rev	0

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Rebecca Biggs
Planning Department
Mid Suffolk District Council
131 High Street
Needham Market
IP6 8DL

04/05/2017

Dear Rebecca,

RE: 0019/17 Erection of B1 business use commercial buildings. Land South of Gun Cotton Way, Stowmarket, IP14 5UL

Thank you for sending us further details of this application, we have the following comments:

We have read the ecological survey report and we are satisfied with the findings of the consultant. We note that between the time of the 2016 ecological survey and the 2017 ecological survey the site has largely been ploughed up, this will have reduced its previous ecological value.

The 2017 ecological report (Mill House Ecology, Apr 2017) therefore provides the most up to date assessment of the condition of the site and we therefore recommend that the measures identified in that report are implemented in full, via a condition of planning consent, should permission be granted.

If you require any further information please do not hesitate to contact us.

Yours sincerely

James Meyer
Senior Conservation Planner



Suffolk Wildlife Trust
Brooke House
Ashbocking
Ipswich
IP6 9JY

01473 890089
info@suffolkwildlifetrust.org
suffolkwildlifetrust.org

A company limited by
guarantee no 695346
Registered charity no 262777

From: Michelle Marshall [mailto:Michellelm@stowmarket.org]
Sent: 16 February 2017 08:31
To: BMSDC Planning Area Team Yellow; Planning Admin
Subject: Planning applications

Please see below for comments from Stowmarket Town Council in respect of recent planning applications:

4978/16

That no objection be raised to the grant of planning consent.

0019/17

That no objection be raised to the grant of planning consent.

0062/17

That no objection be raised to the grant of planning consent.

0201/17

That no objection be raised to the grant of planning consent.

0213/17

That no objection be raised to the grant of planning consent.

Kind regards,
Michelle

Michelle Marshall
Deputy Town Clerk

From: Nathan Pittam
Sent: 27 January 2017 09:00
To: Planning Admin
Subject: 0019/17/FUL. EH - Land Contamination

M3 : 189400
0019/17/FUL. EH - Land Contamination
Land south of, Gun Cotton Way, STOWMARKET, Suffolk.
Erection of B1 business use commercial buildings.

Many thanks for your request for comments in relation to the above application. I have reviewed the application and can confirm that I have no objections to the proposed development from the perspective of land contamination. I would only request that we are contacted in the event of unexpected ground conditions being encountered during construction and that the developer is made aware that the responsibility for the safe development of the site lies with them.

Regards

Nathan

Nathan Pittam BSc. (Hons.) PhD
Senior Environmental Management Officer
Babergh and Mid Suffolk District Councils – Working Together
t: 01449 724715
m: 07769 566988
e: Nathan.pittam@baberghmidsuffolk.gov.uk
w: www.babergh.gov.uk www.midsuffolk.gov.uk

From: RM PROW Planning
Sent: 14 February 2017 10:22
To: Planning Admin
Cc: nigel@plandescil.co.uk
Subject: RE: Consultation on Planning Application 0019/17

Our Ref: W497/039/Row037/17

For The Attention of: Rebecca Biggs

Public Rights of Way Response

Thank you for your consultation concerning the above application.

This response deals only with the onsite protection of affected PROW, and does not prejudice any further response from Rights of Way and Access. As a result of anticipated increased use of the public rights of way in the vicinity of the development, SCC may be seeking a contribution for improvements to the network. These requirements will be submitted with Highways Development Management response in due course.

Government guidance considers that the effect of development on a public right of way is a material consideration in the determination of applications for planning permission and local planning authorities should ensure that the potential consequences are taken into account whenever such applications are considered (Rights of Way Circular 1/09 – Defra October 2009, para 7.2) and that public rights of way should be protected.

Public Footpath 39 is recorded adjacent to the proposed development area.

We have **no objection** to this proposal.

Informative Notes:

Please note that the granting of planning permission is separate to any consents that may be required in relation to Public Rights of Way, including the installation of gates.

Nothing should be done to stop up or divert the Public Right of Way without following the due legal process including confirmation of any orders and the provision of any new path. In order to avoid delays with the application this should be considered at an early opportunity.

The alignment, width, and condition of Public Rights of Way providing for their safe and convenient use shall remain unaffected by the development unless otherwise agreed in writing by the Rights of Way & Access Team.

Nothing in this decision notice shall be taken as granting consent for alterations to Public Rights of Way without the due legal process being followed. Details of the process can be obtained from the Rights of Way & Access Team.

"Public Rights of Way Planning Application Response - Applicant Responsibility" and a digital plot showing the definitive alignment of the route as near as can be ascertained; which is for information only and is not to be scaled from, is attached for the applicant.

Regards

Jackie Gillis
Green Access Officer
Access Development Team
Rights of Way and Access
Resource Management, Suffolk County Council
Endeavour House (Floor 5, Block 1), 8 Russell Road, Ipswich, IP1 2BX

<http://publicrightsofway.onesuffolk.net/> | [Report A Public Right of Way Problem Here](#)

For great ideas on visiting Suffolk's countryside visit www.discoversuffolk.org.uk

From: planningadmin@midsuffolk.gov.uk [<mailto:planningadmin@midsuffolk.gov.uk>]
Sent: 26 January 2017 11:00
To: RM PROW Planning <PROWplanning@suffolk.gov.uk>
Subject: Consultation on Planning Application 0019/17

Correspondence from MSDC Planning Services.

Location: Land south of Gun Cotton Way, Stowmarket IP14 5UL

Proposal: Erection of B1 business use commercial buildings

We have received an application on which we would like you to comment. A consultation letter is attached. To view details of the planning application online please click [here](#)

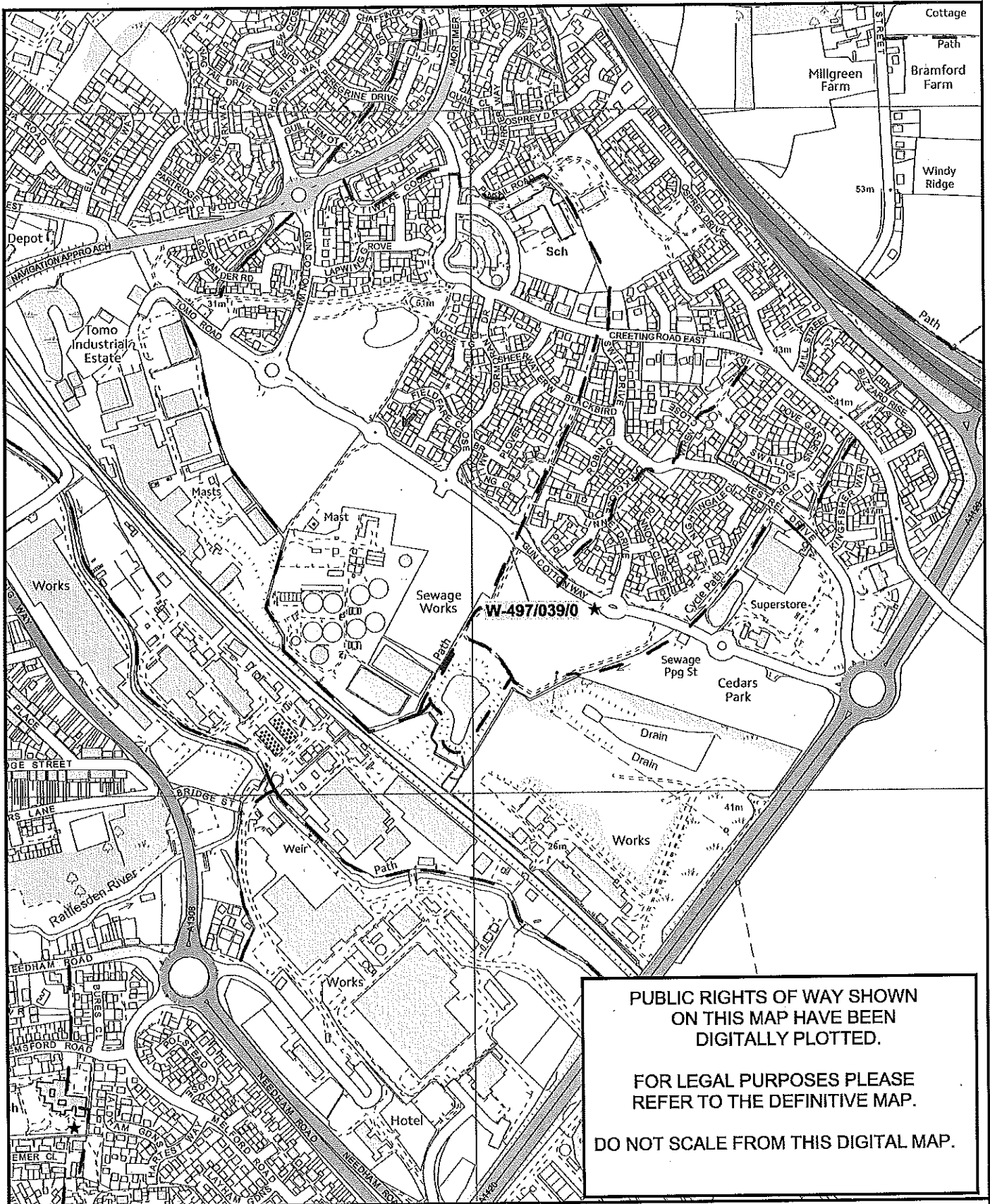
We request your comments regarding this application and these should reach us within 21 days. Please make these online when viewing the application.

The planning policies that appear to be relevant to this case are RT12, SDA8, CL8, NPPF, GP1, SDA7, Cor5, CSFR-FC3, H17, E2, E4, SDA6, SDA3, SDA4, CSFR-FC1, CSFR-FC1.1, Cor3, Cor4, E9, E12, CS SAAP, which can

be found in detail in the Mid Suffolk Local Plan.

We look forward to receiving your comments.

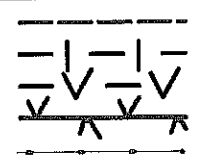
Emails sent to and from this organisation will be monitored in accordance with the law to ensure compliance with policies and to minimize any security risks. The information contained in this email or any of its attachments may be privileged or confidential and is intended for the exclusive use of the addressee. Any unauthorised use may be unlawful. If you receive this email by mistake, please advise the sender immediately by using the reply facility in your email software. Opinions, conclusions and other information in this email that do not relate to the official business of Mid Suffolk District Council shall be understood as neither given nor endorsed by Mid Suffolk District Council.



0019/17 Land south of Gun Cotton Way, Stowmarket
Public Footpath 39



Resource Management
 Endeavour House, 8 Russell Road, Ipswich, Suffolk. IP1 2BX



Ordnance Survey MasterMap

Public Footpath
 Bridleway
 Restricted Byway
 Byway
 Definitive Map Parish Boundary

Scale 1:7500



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Consultee Comments for application 0019/17

Application Summary

Application Number: 0019/17

Address: Land south of Gun Cotton Way, Stowmarket IP14 5UL

Proposal: Erection of B1 business use commercial buildings

Case Officer: Rebecca Biggs

Consultee Details

Name: Mr Robert Boardman (Stowmarket Ramblers)

Address: 8 Gardeners Walk, Elmswell, Bury St Edmunds IP30 9ET

Email: bob@gardeners8.plus.com

On Behalf Of: Ramblers Association - Bob Boardman (temp cover)

Comments

I have viewed these plans and I do not have any comments or observations to make.

Your Ref: MS/0019/17
Our Ref: 570\CON\2052\17
Date: 8th June 2017
Highways Enquiries to: martin.egan@suffolk.gov.uk

All planning enquiries should be sent to the Local Planning Authority.

Email:

The Planning Officer
Mid Suffolk District Council
131 High Street
Ipswich
Suffolk
IP6 8DL

For the Attention of: Rebecca Biggs

Dear Sir,

TOWN AND COUNTRY PLANNING ACT 1990 - CONSULTATION RETURN MS/0019/17

PROPOSAL: Erection of six commercial units for B1 or B8 business units.

LOCATION: Land to the south of, Gun Cotton Way, Stowmarket, Suffolk

ROAD CLASS:

Notice is hereby given that the County Council as Highway Authority recommends that any permission which that Planning Authority may give should include the conditions shown below:

It appears that a revised Travel Plan document has not yet been submitted for consideration. Once we have an acceptable Travel Plan the following conditions will be appropriate. Section 106 contributions will be required to secure the Travel Plan and this information will follow once an acceptable Travel Plan is approved.

1

Condition: Before any of the commercial units are first occupied the developer shall construct a 2m wide footway along the Gun Cotton Way frontage of the site in accordance with Drawing Number 48039/P/001/A as submitted and in accordance with details which shall first have been submitted to and approved by the Local Planning Authority.

Reason: To ensure that suitable footways are provided to access the application site and are provided before the commercial units become occupied.

2 AL 3

Condition: The new vehicular accesses shall be laid out and completed in all respects in accordance with Drawing No. 21400/002 Revision B as submitted and made available for use prior to any commercial unit being first occupied. Thereafter the accesses shall be retained in the specified form.

Reason: To ensure that the access is designed and constructed to an appropriate specification and made available for use at an appropriate time in the interests of highway safety.

3 AL 8

Condition: Prior to the commercial units hereby permitted being first occupied, the vehicular accesses onto the Gun Cotton Way shall be properly surfaced with a bound material for a minimum distance of 50 metres

from the edge of the metalled carriageway, in accordance with details previously submitted to and approved in writing by the local planning authority.

Reason: To secure appropriate improvements to the vehicular access in the interests of highway safety.

4 GTP 1

Condition: Before the development hereby permitted is commenced details of the travel arrangements to and from the site for employees and customers in the form of a Travel Plan, including monitoring provisions shall be submitted to and approved in writing by the Local Planning Authority and such approved arrangements shall be implemented before the development is first brought into use and thereafter adhered to.

Reason: In the interests of sustainable development.

5 P 1

Condition: The use shall not commence until the area(s) within the site shown on Drawing Number 21400/002 revision B as submitted for the purposes of loading, unloading, manoeuvring and parking of vehicles has been provided and thereafter that area(s) shall be retained and used for no other purposes.

Reason: To ensure that sufficient space for the on site parking of vehicles is provided and maintained in order to ensure the provision of adequate on-site space for the parking and manoeuvring of vehicles where on-street parking and manoeuvring would be detrimental to highway safety to users of the highway.

6 NOTE 02

It is an OFFENCE to carry out works within the public highway, which includes a Public Right of Way, without the permission of the Highway Authority. Any conditions which involve work within the limits of the public highway do not give the applicant permission to carry them out. Unless otherwise agreed in writing all works within the public highway shall be carried out by the County Council or its agents at the applicant's expense. The County Council's Central Area Manager must be contacted on Telephone: 01473 341414. Further information go to: <https://www.suffolk.gov.uk/roads-and-transport/parking/apply-for-a-dropped-kerb/>

A fee is payable to the Highway Authority for the assessment and inspection of both new vehicular crossing access works and improvements deemed necessary to existing vehicular crossings due to proposed development.

7 NOTE 12

The existing street lighting system may be affected by this proposal. The applicant must contact the Street Lighting Engineer of Suffolk County Council, telephone 01284 758859, in order to agree any necessary alterations/additions to be carried out at the expense of the developer.

8 NOTE 15

The works within the public highway will be required to be designed and constructed in accordance with the County Council's specification. The applicant will also be required to enter into a legal agreement under the provisions of Section 278 of the Highways Act 1980 relating to the construction and subsequent adoption of the highway improvements. Amongst other things the Agreement will cover the specification of the highway works, safety audit procedures, construction and supervision and inspection of the works, bonding arrangements, indemnity of the County Council regarding noise insulation and land compensation claims, commuted sums, and changes to the existing street lighting and signing.

9

SECTION 106 REQUIREMENTS

In addition to the Travel Plan contributions which are yet to be agreed there will be a Highway requirement for improvements of the Public Right of Way network and also the public transport infrastructure:

- There is a desire to introduce new bus stops within the Gun Cotton Way site frontage for the benefit of potential employees and visitors. To allow for construction of a bus stop base and enclosed bus shelter on each side of the road, with one real time passenger information display

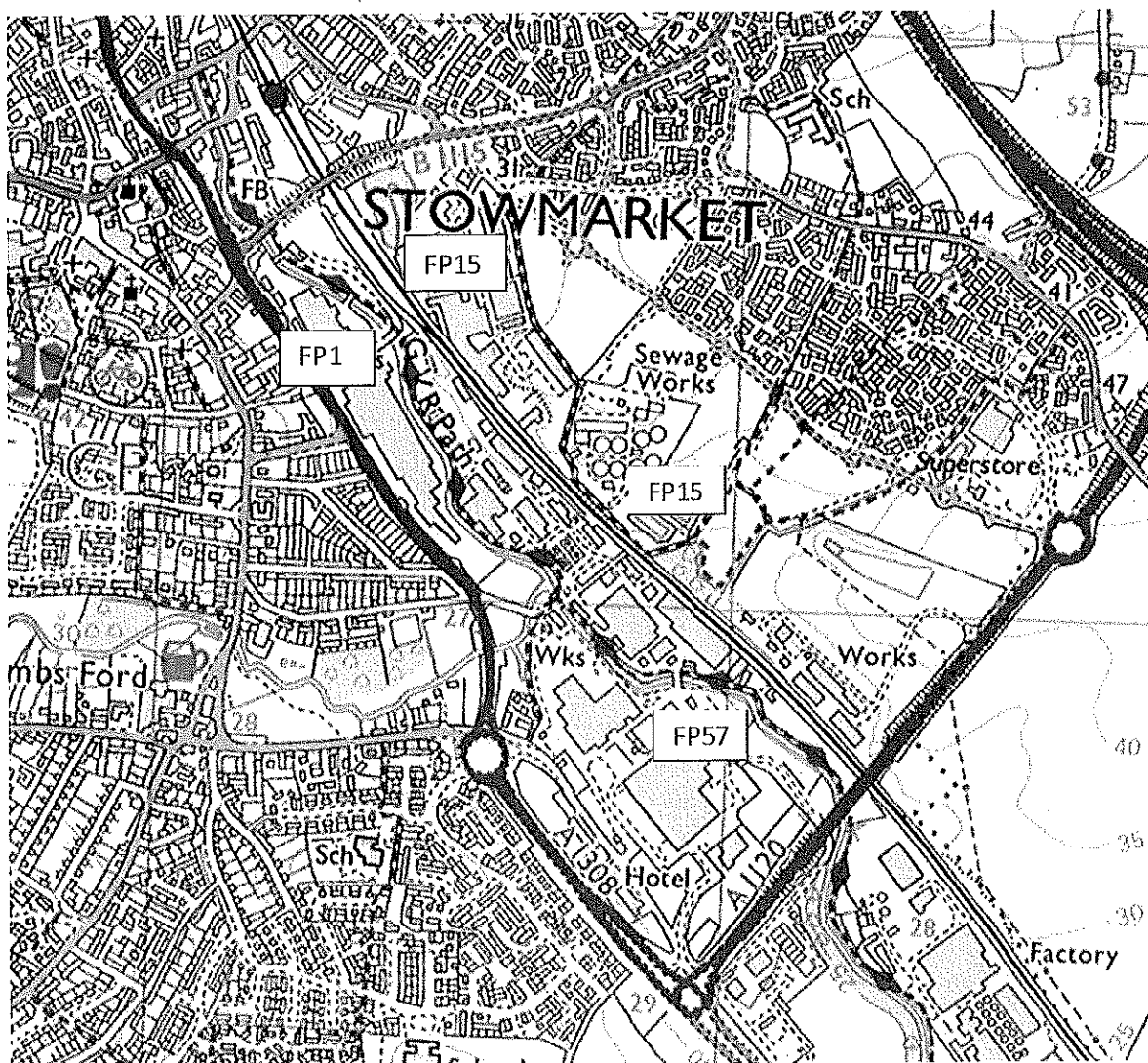
screen on the town bound bus stop, a total of £23,600 is requested. This breaks down to £6,800 for each stop and shelter and £10,000 for one RTP1 screen.

Public Rights of Way Response

The proposed development will have a direct impact on the local public rights of way (PROW) network, please refer to the map.

PROW are important for recreation, encouraging healthy lifestyles, providing green links, supporting the local economy and promoting local tourism; the long distance River Gipping Valley Path (FP12 & FP57), a route from Stowmarket to Ipswich, runs near the site and is a route used for green commuting and leisure.

FP15 provides another leisure and green commuting footpath alongside the development area.



The anticipated increased use of the PROW network of as a result of the development will require the following offsite improvement works:

- Resurfacing and widening of Stowmarket FP15: 715m length x min 3m width = 2145m² @ £25/m² = £53,625.00
- Resurfacing of Stowmarket FP12: 1135m length x min 1.5m width = 1703m² @ £25/m² = £42,562.50

- Resurfacing of Stowmarket FP57: 520m length x min 1.5m width = 780m² @ £25/m² = £19,500.00

Estimates based on the average market costs to provide a hoggin type surface.

The subtotal of these works is £115,687.50

Staff time (design & project management) @ 12% = £13,882.50

Contingency @ 10% = £11,568.75

Total s106 funding requested from this development = **£141,138.75**

The policy framework for these requirements is:

- The county council's rights of way improvement plan which, inter alia, highlights the importance of development in rural areas should give people the greatest opportunity to access the countryside by walking and cycling,
- The walking strategy, which seeks to ensure existing communities with a population over 500, and new developments over 10 dwellings have easy access to a one mile natural walk or 2ha of green space, within 500m of their home,
- The cycling strategy, which seeks to promote a transfer to cycling (and walking) for short distance trips, plan and design for the future with cycling in mind and create a safe and cycle friendly environment,
- The Joint Health and Wellbeing Strategy for Suffolk, outcome 2 of which states Suffolk residents should have access to a healthy environment and take responsibility for the own health and wellbeing,
- You will already be aware of course that, amongst other health and wellbeing objectives, policies set out under the NPPF; the following sections bear relevance to Public Rights of Way:

Section 3 - Supporting a prosperous rural economy

Para 28 - To promote a strong rural economy, local and neighbourhood plans should...support sustainable rural tourism and leisure developments that benefit businesses in rural areas, communities and visitors, and which respect the character of the countryside.

Section 4 - Promoting sustainable transport

Para 35 – refers to priority given to pedestrian and cycle movements, creating safe and secure routes to minimise conflicts between traffic and cyclists or pedestrians and to consider the needs of people with disabilities by all modes of transport.

Section 8 - Promoting healthy communities

Para 69 - Planning policies and decisions, in turn, should aim to achieve places which promote...safe and accessible developments, containing clear and legible pedestrian routes, and high quality public space, which encourage the active and continual use of public areas.

Para 73 - Access to high quality open spaces and opportunities for sport and recreation can make an important contribution to the health and well-being of communities. Planning policies should be based on robust and up-to-date assessments of the needs for open space, sports and recreation facilities and opportunities for new provision.

Para 75 - Planning policies should protect and enhance public rights of way and local authorities should seek opportunities to provide better facilities for users, for example by adding links to the rights of way network.

Yours faithfully,

Mr Martin Egan

Highways Development Management Engineer

Strategic Development – Resource Management

Rebecca Biggs

From: Abby Antrobus
Sent: 13 June 2017 11:52
To: Kate Batt; Rebecca Biggs
Cc: Rachael Abraham
Subject: FW: 0019/17,- Land South of Gun Cotton Way, Stowmarket
Attachments: SCCAS (KB)_15-2375_Land to the south of, Gun Cotton Way, Stowmarket-Eval by cond.doc

Dear Rebecca,
Thank you for your e-mail and apologies for the time that has passed.

The archaeological work for site **0019/17** has not yet been undertaken, so conditions from the previous consent would still be appropriate, please (I've re-attached Kate's letter).

4556/16 has previously been subject to archaeological evaluation, which did not reveal significant finds or features and so there would not be a need for a condition on any consent for this site.

4555/16 has not been subject to systematic archaeological field evaluation and archaeological investigations undertaken in connection with earlier phases of the Cedar's Park development identified significant remains dating from the Iron-Age and Roman periods. There is high potential for further remains to extend into the development site. In accordance with paragraph 141 of the NPPF, SCCAS would recommend that any consent is subject to conditions relating to archaeological work, with a programme of archaeological evaluation as a first stage to allow investigation/mitigation strategies to be designed. We would recommend the following conditions:

1. No development shall take place within the area indicated [the whole site] until the implementation of a programme of archaeological work has been secured, in accordance with a Written Scheme of Investigation which has been submitted to and approved in writing by the Local Planning Authority.

The scheme of investigation shall include an assessment of significance and research questions; and:

- a. The programme and methodology of site investigation and recording.
- b. The programme for post investigation assessment.
- c. Provision to be made for analysis of the site investigation and recording.
- d. Provision to be made for publication and dissemination of the analysis and records of the site investigation.
- e. Provision to be made for archive deposition of the analysis and records of the site investigation.
- f. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation.
- g. The site investigation shall be completed prior to development, or in such other phased arrangement, as agreed and approved in writing by the Local Planning Authority.

2. No building shall be occupied until the site investigation and post investigation assessment has been completed, submitted to and approved in writing by the Local Planning Authority, in accordance with the programme set out in the Written Scheme of Investigation approved under Condition 1 and the provision made for analysis, publication and dissemination of results and archive deposition.

REASON:

To safeguard archaeological assets within the approved development boundary from impacts relating to any groundworks associated with the development scheme and to ensure the proper and timely investigation, recording, reporting and presentation of archaeological assets affected by this development, in accordance with Core Strategy Objective SO 4 of Mid Suffolk District Council Core Strategy Development Plan Document (2008) and the National Planning Policy Framework (2012).

INFORMATIVE:

The submitted scheme of archaeological investigation shall be in accordance with a brief procured beforehand by the developer from Suffolk County Council Archaeological Service, Conservation Team.

I have copied in Kate Batt as case-officer for these sites if you would need more formal response in due course – do get in touch if you would like to discuss anything further,

With best wishes,
Abby

Dr Abby Antrobus

Senior Archaeological Officer
Suffolk County Council Archaeological Service
Bury Resource Centre, Hollow Road, Bury St Edmunds, Suffolk, IP32 7AY
Tel: 01284 741231
Mob: 07785950022

Website: <https://www.suffolk.gov.uk/archaeology>
Heritage Explorer: <https://heritage.suffolk.gov.uk/>

Ipswich Archive: http://archaeologydataservice.ac.uk/archives/view/ipswich_parent_2015/index.cfm
Ipswich Urban Archaeological Database: <https://heritage.suffolk.gov.uk/ipswich-uad>

From: Rebecca Biggs
Sent: 13 June 2017 11:00
To: Abby Antrobus <Abby.Antrobus@suffolk.gov.uk>; Rachael Abraham <Rachael.Abraham@suffolk.gov.uk>
Subject: 0019/17,- Land South of Gun Cotton Way, Stowmarket
Importance: High

Dear Abby and Rachel,

Sorry to contact you directly but I have not received a response from SCC Archaeology in regards to the above application. This site has received planning permission for 6 business units (same as proposed under the above application). The permission was subject to an Archaeology condition. I would welcome your thoughts on whether a condition is still necessary.

I have also not received a response in regards to applications 4556/16 and 4556/16 which sit adjacent to the development. I would also appreciate comments in regards to these applications. However I require the response regarding 0019/17 asap as I need to finalise my committee report by Thursday.

Kind regards

Rebecca Biggs
Development Management Planning Officer
Babergh and Mid-Suffolk District Councils- Working Together
www.babergh.gov.uk and www.midsuffolk.gov.uk

Mid Suffolk District Council | 131 High Street | Needham Market |
Mobile: 07860827084
E. rebecca.biggs@baberghmidsuffolk.gov.uk

Important Update Regarding Planning Service:

Our new joint planning system has been successfully integrated. Please bear with us while we get used to our new system and thank you for your understanding. If you have any difficulties accessing the system, let us know and we'll be happy to help you. Please see the planning pages on our website for more details.

Please be advised that any comments expressed in this email are offered as a informal professional opinion unless otherwise stated and are given without prejudice to any decision or action the Council may take in the future. Please check with the email's author if you are in any doubt about the status of the content of this email. Any personal information contained in correspondence shall be dealt with in accordance with Mid Suffolk and Babergh District Council's Data Protection policy and the provisions of the Data Protection Act as found on both Council's websites.

[Click Here](#) for the latest planning news and changes to the service coming up this year

Economy, Skills and Environment
9-10 The Churchyard, Shire Hall
Bury St Edmunds
Suffolk
IP33 1RX

Philip Isbell
Corporate Manager - Development Manager
Planning Services
Mid Suffolk District Council
131 High Street
Needham Market
Ipswich IP6 8DL

Enquiries to: Kate Batt
Direct Line: 01284 741227
Email: kate.batt@suffolk.gov.uk
Web: <http://www.suffolk.gov.uk>

Our Ref: 2015_2375
Date: 6th August, 2015

For the Attention of John Pateman-Gee

Dear Mr Isbell

**Planning Application 2375/15 – Land to the south of, Gun Cotton Way, Stowmarket:
Archaeology**

The site of the proposed development has potential for the presence of heritage assets with archaeological interest. Archaeological excavation undertaken in conjunction with previous phases of the Cedars Park development has identified extensive archaeological evidence for occupation of later prehistoric, Roman and Medieval date. Of particular interest, areas 3A & 3B produced well preserved archaeological remains for Iron Age and Roman settlement, including a probable villa (SKT018). Given the position of the proposed development relative to the known Roman activity, adjacent to, but outside the main area of Roman settlement, it is possible that heritage assets may include burials, cremation or inhumation. The proposed works would cause significant ground disturbance that has potential to damage any archaeological deposit that exists.

There would be no grounds to consider refusal of permission in order to achieve preservation *in situ* of any important heritage assets. However, in accordance with the *National Planning Policy Framework* (Paragraph 141), we would recommend that any permission granted should be the subject of planning conditions to record and advance understanding of the significance of any heritage asset before it is damaged or destroyed.

In this case the following conditions would be appropriate:

1. No development shall take place within the area indicated [the whole site] until the implementation of a programme of archaeological work has been secured, in accordance with a Written Scheme of Investigation for evaluation, and where necessary excavation, which has been submitted to and approved in writing by the Local Planning Authority.

The scheme of investigation shall include an assessment of significance and research questions; and:

- a. The programme and methodology of site investigation and recording
- b. The programme for post investigation assessment
- c. Provision to be made for analysis of the site investigation and recording
- d. Provision to be made for publication and dissemination of the analysis and records of the site investigation
- e. Provision to be made for archive deposition of the analysis and records of the site investigation
- f. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation.
- g. The site investigation shall be completed prior to development, or in such other phased arrangement, as agreed and approved in writing by the Local Planning Authority.

2. The site investigation and post investigation assessment must be completed, submitted to and approved in writing by the Local Planning Authority prior to completion of the development, in accordance with the programme set out in the Written Scheme of Investigation approved under Condition 1 and the provision made for analysis, publication and dissemination of results and archive deposition.

REASON:

To safeguard archaeological assets within the approved development boundary from impacts relating to any groundworks associated with the development scheme and to ensure the proper and timely investigation, recording, reporting and presentation of archaeological assets affected by this development, in accordance with Core Strategy Objective SO 4 of Mid Suffolk District Council Core Strategy Development Plan Document (2008) and the National Planning Policy Framework (2012).

INFORMATIVE:

The submitted scheme of archaeological investigation shall be in accordance with a brief procured beforehand by the developer from Suffolk County Council Archaeological Service, Conservation Team.

In this case, a geophysical survey and trenched archaeological evaluation will be required in order to establish the archaeological potential of the site. Decisions on the need for any further investigation (excavation before any groundworks commence) will be made on the basis of the results of the evaluation.

I would be pleased to offer guidance on the archaeological work required and will, on request of the applicant, provide a brief for each stage of the archaeological investigation (Please see our website for further information on procedures and costs:

<http://www.suffolk.gov.uk/libraries-and-culture/culture-and-heritage/archaeology/>

Yours sincerely

Kate Batt

Senior Archaeological Officer
Conservation Team



**Planning Applications – Suggested Informative
Statements and Conditions Report**

AW Reference: 00021260
Local Planning Authority: Mid Suffolk District
Site: Gun Cotton Way, Stowmarket
Proposal: Erection of six commercial units for B1 or B8
business units.
Planning Application: 0019/17

Prepared by: Sandra Olim

Date: 17 May 2017

If you would like to discuss any of the points in this document please
contact me on 0345 0265 458 or email planningliaison@anglianwater.co.

ASSETS

Section 1 – Assets Affected

- 1.1 There are assets owned by Anglian Water or those subject to an adoption agreement within or close to the development boundary that may affect the layout of the site. Anglian Water would ask that the following text be included within your Notice should permission be granted.

"Anglian Water has assets close to or crossing this site or there are assets subject to an adoption agreement. Therefore the site layout should take this into account and accommodate those assets within either prospectively adoptable highways or public open space. If this is not practicable then the sewers will need to be diverted at the developers cost under Section 185 of the Water Industry Act 1991. or, in the case of apparatus under an adoption agreement, liaise with the owners of the apparatus. It should be noted that the diversion works should normally be completed before development can commence."

- 1.2 The development site is within 15 metres of a sewage pumping station. This asset requires access for maintenance and will have sewerage infrastructure leading to it. For practical reasons therefore it cannot be easily relocated.

Anglian Water consider that dwellings located within 15 metres of the pumping station would place them at risk of nuisance in the form of noise, odour or the general disruption from maintenance work caused by the normal operation of the pumping station.

The site layout should take this into account and accommodate this infrastructure type through a necessary cordon sanitaire, through public space or highway infrastructure to ensure that no development within 15 metres from the boundary of a sewage pumping station if the development is potentially sensitive to noise or other disturbance or to ensure future amenity issues are not created.

- 1.3 Stowmarket water recycling centre (WRC) is in close proximity to the proposed development and our typical associated operations could potentially cause a nuisance for future residents. Initial odour risk assessments suggest that there could be negative impacts from our operations at the WRC on properties within the proposed development, including the potential for loss of amenity. Our initial odour risk assessment indicates that there is potential for loss of amenity at sensitive property within the proposed development due to odour emissions from the operation of the WRC. We operate the WRC in compliance with the highest appropriate regulatory standards and best practice. However, there is always an inherent possibility of short periods of potentially strong odours for which there is little practical mitigation. Therefore, we ask that the proposed layout maintains an effective distance of more than 400m between the WRC and the sensitive properties in order to minimise inconvenience to nearby dwellings and to allow the continuity of our operations. In addition to this, we recommend that an odour dispersion model is produced to establish the range at which neighbouring properties could be impacted. The results of any odour modelling can be reviewed in further consultation

WASTEWATER SERVICES

Section 2 – Wastewater Treatment

- 2.1 The foul drainage from this development is in the catchment of Stowmarket Water Recycling Centre that will have available capacity for these flows.

Section 3 – Foul Sewerage Network

- 3.1 The sewerage system at present has available capacity for these flows. If the developer wishes to connect to our sewerage network they should serve notice under Section 106 of the Water Industry Act 1991. We will then advise them of the most suitable point of connection.

Section 4 – Surface Water Disposal

- 4.1 The surface water strategy/flood risk assessment submitted with the planning application relevant to Anglian Water is acceptable.

We request that the agreed strategy is reflected in the planning approval

Section 5 – Trade Effluent

- 5.1 The planning application includes employment/commercial use. To discharge trade effluent from trade premises to a public sewer vested in Anglian Water requires our consent. It is an offence under section 118 of the Water Industry Act 1991 to discharge trade effluent to sewer without consent. Anglian Water would ask that the following text be included within your Notice should permission be granted.

"An application to discharge trade effluent must be made to Anglian Water and must have been obtained before any discharge of trade effluent can be made to the public sewer.

Anglian Water recommends that petrol / oil interceptors be fitted in all car parking/washing/repair facilities. Failure to enforce the effective use of such facilities could result in pollution of the local watercourse and may constitute an offence.

Anglian Water also recommends the installation of a properly maintained fat traps on all catering establishments. Failure to do so may result in this and other properties suffering blocked drains, sewage flooding and consequential environmental and amenity impact and may also constitute an offence under section 111 of the Water Industry Act 1991."

Section 6 – Suggested Planning Conditions

Anglian Water would therefore recommend the following planning condition if the Local Planning Authority is mindful to grant planning approval.

Surface Water Disposal (Section 4)

CONDITION

No hard-standing areas to be constructed until the works have been carried out in accordance with the surface water strategy so approved unless otherwise agreed in writing by the Local Planning Authority.

REASON

To prevent environmental and amenity problems arising from flooding.



Environment
Agency

R Biggs
Mid Suffolk District Council
Planning Department
131, Council Offices High Street
Needham Market
Ipswich
IP6 8DL

Our ref: AE/2017/121315/01-L01
Your ref: 0019/17
Date: 14 February 2017

Dear Ms Biggs

ERECTION OF B1 BUSINESS USE COMMERCIAL BUILDINGS LAND SOUTH OF GUN COTTON WAY, STOWMARKET IP14 5UL

Thank you for consulting us on this application which we received on 26 January 2017. We have no objection to the proposal and offer the following advice regarding foul water disposal and nearby permitted installations.

Foul water

We are concerned about the size of the development being brought forward in this application which could be used by in excess of 200 people and produce trade effluent. Our calculations show that, unless there are remedial works completed prior to occupation, the connection of this development to foul sewer will cause Stowmarket Water Recycling Centre to exceed its permitted volumetric limits and is likely to cause environmental damage. This development should be appropriately conditioned such that it is not connected to the sewerage network unless and until capacity is available. You are advised to consult with Anglian Water on the correct phasing of the development to ensure that this can take place.

Control of Major Accident Hazards Regulations 2015

The proposed development is within 300m of a facility notified under the Control of Major Accident Hazards Regulations 2015 (COMAH) as an Upper Tier establishment, COMAH establishments are regulated by the COMAH Competent Authority (the Health & Safety Executive and Environment Agency acting jointly).

The planning authority should review the HSE's consultation distance zones for the COMAH establishment and consult the HSE by use of their Planning Advice Web App as appropriate. Further information on the HSE's Land USE Planning Methodology is available at <http://www.hse.gov.uk/landuseplanning/methodology.pdf>

Environment Agency
Cobham Road, Ipswich, Suffolk, IP3 9JD.
Customer services line: 03708 506 506
www.gov.uk/environment-agency

Cont/d..

The proposed development is also within 200m and 450m of facilities which hold Environmental (Installation) permits under the Environmental Permitting Regulations 2010, which are regulated by the Environment Agency.

New development within 250m of a permitted facility could result in the community at the proposed development being exposed to amenity impacts such as odour, noise and dust. The severity of these impacts will depend on local factors such as the nature of the activities carried out at the permitted facilities. If the operator can demonstrate that they have taken all reasonable precautions to mitigate these impacts, the facility and community will co-exist, with some residual impacts. In some cases, these residual impacts may cause local residents concern, and there are limits to the mitigation the operator can apply. Only in very exceptional circumstances would we revoke the operators permit. Further information on environmental permitting is available on the gov.uk at <https://www.gov.uk/topic/environmental-management/environmental-permits>

We trust this information is useful.

Yours sincerely

A black rectangular redaction box covering the signature of Mr Graham Steel.

Mr GRAHAM STEEL
Sustainable Places - Planning Advisor

Direct dial 02 03 02 58389

Direct e-mail graham.steel@environment-agency.gov.uk

cc Plandescil Ltd

End

2

From: David Pizzey
Sent: 30 January 2017 12:11
To: Rebecca Biggs
Cc: Planning Admin
Subject: 0019/17 Land south of Gun Cotton Way, Stowmarket.

Hi Rebecca

I have no objection to this proposal as there are seemingly no trees on site. However, an existing tree belt to the south of the site will help screen any development and is close enough to warrant protection with a tree fencing condition.

David

David Pizzey
Arboricultural Officer
Hadleigh office: 01473 826662
Needham Market office: 01449 724555
david.pizzey@baberghmidsuffolk.gov.uk
www.babergh.gov.uk and www.midsuffolk.gov.uk
Babergh and Mid Suffolk District Councils - Working Together

From: planningadmin@midsuffolk.gov.uk [<mailto:planningadmin@midsuffolk.gov.uk>]
Sent: 26 January 2017 11:00
To: David Pizzey
Subject: Consultation on Planning Application 0019/17

Correspondence from MSDC Planning Services.

Location: Land south of Gun Cotton Way, Stowmarket IP14 5UL

Proposal: Erection of B1 business use commercial buildings

We have received an application on which we would like you to comment. A consultation letter is attached. To view details of the planning application online please click [here](#)

We request your comments regarding this application and these should reach us within 21 days. Please make these online when viewing the application.

The planning policies that appear to be relevant to this case are RT12, SDA8, CL8, NPPF, GP1, SDA7, Cor5, CSFR-FC3, H17, E2, E4, SDA6, SDA3, SDA4, CSFR-FC1, CSFR-FC1.1, Cor3, Cor4, E9, E12, CS SAAP, which can

be found in detail in the Mid Suffolk Local Plan.

We look forward to receiving your comments.

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0019/17

OFFICIAL



Suffolk Fire and Rescue Service

Fire Business Support Team
Floor 3, Block 2
Endeavour House
8 Russell Road
Ipswich, Suffolk
IP1 2BX

Mid Suffolk District Council
Planning Department
131 High Street
Needham Market
Ipswich
IP6 8DL

Your Ref: S106/0019/17
Our Ref: FS/F221363
Enquiries to: Angela Kempen
Direct Line: 01473 260588
E-mail: Fire.BusinessSupport@suffolk.gov.uk
Web Address: <http://www.suffolk.gov.uk>

Date: 01/03/2017

fb

Dear Sirs

Land South of Gun Cotton Way, Gun Cotton Way, Stowmarket, Suffolk, IP14 5UL
Planning Application No: S106/0019/17

I refer to the above application.

The plans have been inspected by the Water Officer who has the following comments to make.

Access and Fire Fighting Facilities

Access to buildings for fire appliances and firefighters must meet with the requirements specified in Building Regulations Approved Document B, (Fire Safety), 2006 Edition, incorporating 2010 and 2013 amendments Volume 1 - Part B5, Section 11 dwelling houses, and, similarly, Volume 2, Part B5, Sections 16 and 17 in the case of buildings other than dwelling houses. These requirements may be satisfied with other equivalent standards relating to access for firefighting, in which case those standards should be quoted in correspondence.

Suffolk Fire and Rescue Service also requires a minimum carrying capacity for hard standing for pumping/high reach appliances of 15/26 tonnes, not 12.5 tonnes as detailed in the Building Regulations 2000 Approved Document B, 2006 Edition, incorporating 2010 and 2013 amendments.

Water Supplies

Suffolk Fire and Rescue Authority recommends that fire hydrants be installed within this development. However, it is not possible, at this time, to determine the number of fire hydrants required for firefighting purposes. The requirement will be determined at the water planning stage when site plans have been submitted by the water companies.

OFFICIAL

Suffolk Fire and Rescue Service recommends that proper consideration be given to the potential life safety, economic, environmental and social benefits derived from the provision of an automatic fire sprinkler system. (Please see sprinkler information enclosed with this letter).

Consultation should be made with the Water Authorities to determine flow rates in all cases.

Should you need any further advice or information on access and fire fighting facilities, you are advised to contact your local Building Control in the first instance. For further advice and information regarding water supplies, please contact the Water Officer at the above headquarters.

Yours faithfully



Mrs A Kempen
Water Officer

Copy: Plandescil Ltd, Connaught Road, Attleborough, NR17 2BW.

Enc: Sprinkler information.


Suffolk Fire and Rescue Service

Fire Business Support Team
 Floor 3, Block 2
 Endeavour House
 8 Russell Road
 Ipswich, Suffolk
 IP1 2BX

Mid Suffolk District Council
 Planning Department
 131 High Street
 Needham Market
 Ipswich
 IP6 8DL

Your Ref: ENG/AK
 Our Ref: Mrs A Kempen
 Enquiries to: 01473 260486
 Direct Line: Angela.Kempen@suffolk.gov.uk
 E-mail: www.suffolk.gov.uk
 Web Address

Date: 01/03/2017

Planning Ref: S106/0019/17

Dear Sirs

RE: PROVISION OF WATER FOR FIRE FIGHTING

ADDRESS: Land South of Gun Cotton Way, Gun Cotton Way, Stowmarket, Suffolk, IP14 5UL

DESCRIPTION: Commercial Units.

NO: HYDRANTS REQUIRED.

If the Planning Authority is minded to grant approval, the Fire Authority will request that adequate provision is made for fire hydrants, by the imposition of a suitable planning condition at the planning application stage.

If the Fire Authority is not consulted at the planning stage, the Fire Authority will request that fire hydrants be installed retrospectively on major developments if it can be proven that the Fire Authority was not consulted at the initial stage of planning.

The planning condition will carry a life term for the said development and the initiating agent/developer applying for planning approval and must be transferred to new ownership through land transfer or sale should this take place.

Fire hydrant provision will be agreed upon when the water authorities submit water plans to the Water Officer for Suffolk Fire and Rescue Service.

Where a planning condition has been imposed, the provision of fire hydrants will be fully funded by the developer and invoiced accordingly by Suffolk County Council.

OFFICIAL

Until Suffolk Fire and Rescue Service receive confirmation from the water authority that the installation of the fire hydrant has taken place, the planning condition will not be discharged.

Should you require any further information or assistance I will be pleased to help.

Yours faithfully

A large black rectangular redaction box covering the signature of the sender.

Mrs A Kempen
Water Officer

Rebecca Biggs

From: RM Floods Planning
Sent: 04 April 2017 09:11
To: Planning Admin
Cc: Rebecca Biggs
Subject: 2017-04-4 JS reply Land south of Gun Cotton Way, Stowmarket IP14 5UL 0019/17

Suffolk County Council, Flood and Water management can make the following final comments to this applicant.

Further to the consultation reply from Plandescil dated the 16 March 2017. I am happy to see the changes to the side slopes gradient and the agreement in principle with AWS for connection to their public surface water sewer. I also note the explanation on the safety factor in the calculations provided.

The data from the trial pits does indicate that infiltration may not be possible on this site, but it must be stressed that this is merely an indication that infiltration is unlikely to work rather than a definitive answer.

As this is a full application and based on both local and national guidance it is recommended that both a detailed landscape drawing and a proposal as to how they intend to manage surface water during the construction of the site is provided before a recommendation is made to approve this application.

Kind Regards

Jason Skilton
Flood & Water Engineer
Suffolk County Council

Tel: 01473 260411
Fax: 01473 216864

Kind Regards

Jason Skilton
Flood & Water Engineer
Suffolk County Council

Tel: 01473 260411
Fax: 01473 216864

From: planningadmin@midsuffolk.gov.uk [mailto:planningadmin@midsuffolk.gov.uk]
Sent: 31 March 2017 13:30
To: RM Floods Planning <floods.planning@suffolk.gov.uk>
Subject: Reconsultation on Planning Application 0019/17

Correspondence from MSDC Planning Services.

We recently sent you a consultation in respect of the above application.

We have recently received further information/revised plans in respect of this and would ask you to take this additional information into account when replying.

Please ensure that we receive your reply by **21/04/2017** at the latest.

To view details of the planning application online please click [here](#)

We look forward to receiving your comments.

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Rebecca Biggs

From: Martin Egan
Sent: 27 April 2017 12:14
To: Rebecca Biggs
Subject: FW: 0019/17- Gun Cotton Way

Importance: High

Hi Rebecca,

Just an early warning that I shall shortly be providing a recommendation for refusal for this particular application.

In relation to the Travel Plan, Chris Wards comments are reproduced below:

The Interim Workplace Travel Plan (dated March 2017) that was submitted to support the application (MS/0019/17) for the proposed B1 commercial development at Gun Cotton Way in Stowmarket has identified some suitable measures to encourage employees to travel sustainably, however the following issues need further clarification:

- There is some reference in regards to the cumulative highway impact linked to committed development (Stowmarket Distribution Centre) in the Transport Assessment, however the vehicular trips generated by this application have not been applied to the committed development. Furthermore, the vehicular trips generated by this application has not been modelled onto the main junctions that will connect the site to assess the junction capacities, as further mitigation may be required. This information should be included in the Transport Assessment to appropriately inform the Travel Plan, as stronger measures may be required to mitigate such impact.*
- The details of the end user of the site is not included, as this may cause an issue with understanding the highway impact of the site. The operating hours and number of employees for each commercial unit will help understand when the trips generated by the site will be made.*
- In regards to the promotion of buses, there are very limited opportunities for staff to use them to commute to work. The buses that serve closest to the site (384/385) would not be sufficient for an employee to work a 9am to 5pm shift as the last bus leaves the site at 1555. Also if the employee walks to the bus stop on Mortimer Road (which are a 20 minute walk from the site boundary) the services are also very limited for commuting purposes. This issue will need to be identified in the Travel Plan, with suitable measures identified to overcome this issue. As identified in the Travel Plan the rail services are very good, however Stowmarket rail station is also a 20 minute walk from the site boundary, which may also put employees off using rail travel to commute to the site. These issues must be raised in the Travel Plan, with suitable measures identified to overcome these issues (i.e. shuttle bus from rail station, negotiating with the local bus operators, etc.).*
- In paragraph 6.4 of the Travel Plan mentions, "a centralised secure and covered cycle parking should be investigated and provided, if feasible, for employees within all premises". This measure is strongly welcomed and should be secured by planning condition to encourage cycling to the site, as cycling is one of the most feasible options of travelling by non-car means to the site.*
- Also the reference to the implementation of a Transport Management Association in the Travel Plan must be secured by either planning obligation or condition to ensure that all occupiers of the site adhere to the Travel Plan.*

A revised Travel Plan that takes into account the comments raised above, should ideally be submitted for approval prior to the determination on the application.

These revisions need to comply with National Planning Policy Framework paragraph 32, which sets out that plans and decisions should take account of whether:

- the opportunities for sustainable transport modes have been taken up depending on the nature and location of the site, to reduce the need for major transport infrastructure;*
- safe and suitable access to the site can be achieved for all people.*
- improvements can be undertaken within the transport network that cost effectively limit the significant impacts of the development.*

Other relevant paragraphs include 34, 35 and 36 as well as the "Travel Plans, Transport Assessments and Statements in Decision-taking" section of the 2014 Planning Practice Guidance.

In addition, a decent quality travel plan will also support Core Strategy Objectives SO3 and SO6 of the Mid Suffolk Core Strategy Development Plan Document (2008) and Core Strategy Focused Review (2012).

To ensure there is sufficient resource for Suffolk County Council to engage with the Travel Plan and there are certainties that the Travel Plan will be implemented in full; the following Section 106 contributions are required:

- Travel Plan Travel Plan Evaluation and Support Contribution - £1,000 per annum from occupation of the first commercial unit for a minimum of five years, or one year after occupation of the final commercial unit, whichever is longest. This is to cover Suffolk County Council officer time working with the Transport Management Association and site-wide Travel Plan Coordinator and agreeing new targets and objectives throughout the full duration of the travel plan. If the contribution is not paid Suffolk County Council may not be able to provide sufficient resource to assisting the ongoing implementation and monitoring of the travel plan, which may result in the failure of the Travel Plan to mitigate the highway impact of this development.*

The implementation of the Travel Plan should be secured solely by Section 106 obligations, due to multiple users potentially occupying the site which a planning condition will be insufficient. Therefore the following elements of the Travel Plan should be secured by Section 106 obligations:

- Implementation of the Interim Travel Plan (when approved)*
- Provision of an approved welcome pack to each employee on first occupation*
- Implementation of a Transport Management Association to implement the site-wide Travel Plan across all occupiers*
- Approval and full implementation of the Full Travel Plan*
- Monitoring the Travel Plan for a minimum of five years, or one year after occupation of the final commercial unit, whichever is longest*
- Securing and implementing remedial Travel Plan measures if the vehicular reduction targets are not achieved, or if the trip rate in the Transport Assessment is exceeded when the site is occupied*

All the contributions and obligations have taken into account CIL regulation 122 and are:

- necessary to make the development acceptable in planning terms;*
- directly related to the development; and*
- fairly and reasonably related in scale and kind to the development*

Full wording for the proposed Section 106 obligations can be supplied at a later date if planning permission is granted.

Also a planning condition will be required to secure the secure cycle parking identified in the Travel Plan.

More detailed Travel Plan comments can be provided on request by the applicant if needed.

Regards,

Martin Egan,
Highways Development Management Engineer,
Strategic Development,
Resource Management,
Suffolk County Council,
Endeavour House,
8 Russell Road, Ipswich,
IP1 2BX,
Tel: 01473 264757
Fax: 01473 216864
martin.egan@suffolk.gov.uk
www.suffolk.gov.uk

From: RM Highways Development Control
Sent: 26 April 2017 15:26
To: Martin Egan <Martin.Egan@suffolk.gov.uk>
Cc: Christopher Fish <Christopher.Fish@suffolk.gov.uk>; Rebecca Biggs <Rebecca.Biggs@babberghmidsuffolk.gov.uk>
Subject: FW: 0019/17- Gun Cotton Way
Importance: High


Dear Martin

Please see email below for your urgent response?

Many thanks

Sophie Morling
Business Support Officer
Highway Network Management - Countywide
Resource Management
Suffolk County Council
Endeavour House
8 Russell Road
Ipswich
IP1 2BX

Tel 01473 264452
Email: Sophie.Morling@suffolk.gov.uk
Web: www.suffolk.gov.uk



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report a fault highwaysreporting.suffolk.gov.uk

what's happening in my area? <https://www.suffolk.gov.uk/roads>

From: Rebecca Biggs
Sent: 26 April 2017 15:18
To: RM Highways Development Control <Highways.DevelopmentControl@suffolk.gov.uk>;
info@highwaysengland.co.uk
Subject: 0019/17- Gun Cotton Way

Dear SCC Highways and Highways England,

Following your previous comments regarding the above application additional information addressing this information was received on 04 April 2017 and consultation requests were sent on the 05 April 2017 asking for further comments to be addressed. It appears I have not received your response and would be grateful if you could forward your comments within the next week.

It is also worth reminding that this scheme is adjacent to two mixed development schemes under application reference number 4555/16 and 4556/16.

Regards

Rebecca Biggs
Development Management Planning Officer
Babergh and Mid-Suffolk District Councils- Working Together
www.babergh.gov.uk and www.midsuffolk.gov.uk

Mid Suffolk District Council | 131 High Street | Needham Market |
T. Ext 01449 724543 Int. 4543 Mobile: 07860827084
E. rebecca.biggs@babermidsuffolk.gov.uk

[Click Here](#) for the latest planning news and changes to the service coming up this year.

Please be advised that any comments expressed in this email are offered as a informal professional opinion unless otherwise stated and are given without prejudice to any decision or action the Council may take in the future. Please check with the email's author if you are in any doubt about the status of the content of this email. Any personal information contained in correspondence shall be dealt with in accordance with Mid Suffolk and Babergh District Council's Data Protection policy and the provisions of the Data Protection Act as found on both Council's websites.

***** Community Infrastructure Levy (CIL) is now adopted in Mid Suffolk and Babergh.
Charging starts on 11th April 2016. See our websites for the latest information here: [CIL in Babergh and CIL in Mid Suffolk](#) ******

From: David Harrold
Sent: 28 March 2017 12:22
To: Planning Admin
Cc: Rebecca Biggs
Subject: Plan ref 0019/17/FUL Land South of Gun Cotton Way, Stowmarket. EH - Other Issues

Thank you for consulting me on the above application to erect commercial buildings.

I do not have any objection to the proposed development. It is adjacent to the Stowmarket sewage treatment works and the proposed B1 business units will experience odour from that operation from time to time. However, due to the non-sensitive end use of the proposed development this should not be an issue.

I would, however, recommend a condition to control construction activity due to the nearby existing residential premises between 08:00 and 18:30 hours Monday to Friday, 08:00 to 13:00 hours Saturday, no working Sunday or Bank Holidays.

I also note that hours of opening are not known or stated on the application. You may wish to condition this to be agreed with the local planning authority (when known) to include deliveries to and from the proposed premises in order to protect residential amenity on the neighbouring area, commensurate with B1 use.

I trust this is of assistance.

David Harrold MCIEH

Senior Environmental Health Officer
Babergh and Mid Suffolk Council



Developments Affecting Trunk Roads and Special Roads
Highways England Planning Response (HEPR 16-01)
Formal Recommendation to an Application for Planning Permission

From: Martin Fellows
Operations (East)
planningee@highwaysengland.co.uk

To: Mid Suffolk District Council

CC: growthandplanning@highwaysengland.co.uk

Council's Reference: 0019/17

Referring to the planning application referenced above, dated 30 January 2017, application for the erection of B1 business use commercial buildings, Land south of Gun Cotton Way, Stowmarket, IP14 5UL, notice is hereby given that Highways England's formal recommendation is that we:

- a) offer no objection;
- ~~b) recommend that conditions should be attached to any planning permission that may be granted (see Annex A – Highways England recommended Planning Conditions);~~
- ~~c) recommend that planning permission not be granted for a specified period (see Annex A – further assessment required);~~
- ~~d) recommend that the application be refused (see Annex A – Reasons for recommending Refusal).~~

Highways Act Section 175B is ~~is~~ not relevant to this application.¹

¹ Where relevant, further information will be provided within Annex A.

Signature: 

Date: 4 May 2017

Name: David Abbott

Position: Asset Manager

Highways England:

Woodlands, Manton Lane

Bedford MK41 7LW

david.abbott@highwaysengland.co.uk

From: Consultations (NE) [mailto:consultations@naturalengland.org.uk]
Sent: 20 April 2017 14:30
To: Planning Admin
Subject: 0019/17

Dear Sir or Madam,

Our ref: 212761
Your ref: **0019/17**

Thank you for your consultation.

Natural England has previously commented on this proposal and made comments to the authority in our letter dated 09 February 2017

The advice provided in our previous response applies equally to these **revised plans** although we made no objection to the original proposal.

The proposed amendments to the original application are unlikely to have significantly different impacts on the natural environment than the original proposal.

Should the proposal be amended in a way which **significantly** affects its impact on the natural environment then, in accordance with Section 4 of the Natural Environment and Rural Communities Act 2006, Natural England should be consulted again. Before sending us the amended consultation, please assess whether the changes proposed will materially affect any of the advice we have previously offered. If they are unlikely to do so, please do not re-consult us.

Yours faithfully

Dawn Kinrade
Natural England
Technical Services
Consultations Team
Hornbeam House
Crewe Business Park
Electra Way
Crewe
Cheshire, CW1 6GJ

Tel: 0208 0268349

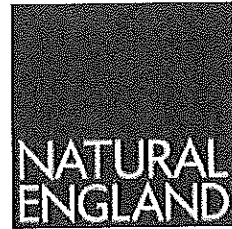
Email: consultations@naturalengland.org.uk

www.gov.uk/natural-england

We are here to secure a healthy natural environment for people to enjoy, where wildlife is protected and England's traditional landscapes are safeguarded for future generations.

In an effort to reduce Natural England's carbon footprint, I will, wherever possible, avoid travelling to meetings and attend via audio, video or web conferencing.

Date: 09 February 2017
Our ref: 207080
Your ref: 0090/17



Planning Services
Mid Suffolk District Council
131 High Street
Needham Market
Suffolk
IP6 8DL

Hornbeam House
Crewe Business Park
Electra Way
Crewe
Cheshire
CW1 6GJ

BY EMAIL ONLY

T 0300 060 3900

Dear Sir/Madam,

Planning consultation: Erection of B1 business use commercial buildings.
Location: Land south of Gun Cotton Way, Stowmarket IP14 5UL

Thank you for your consultation on the above dated 26 January 2017 which was received by Natural England on 26 January 2017.

Natural England is a non-departmental public body. Our statutory purpose is to ensure that the natural environment is conserved, enhanced, and managed for the benefit of present and future generations, thereby contributing to sustainable development.

The Wildlife and Countryside Act 1981 (as amended)
The Conservation of Habitats and Species Regulations 2010 (as amended)

Natural England's comments in relation to this application are provided in the following sections.

Statutory nature conservation sites – no objection

Natural England has assessed this application using the Impact Risk Zones data (IRZs) and is satisfied that the proposed development being carried out in strict accordance with the details of the application, as submitted, will not damage or destroy the interest features for which Combs Wood SSSI has been notified. We therefore advise your authority that this SSSI does not represent a constraint in determining this application. Should the details of this application change, Natural England draws your attention to Section 28(l) of the Wildlife and Countryside Act 1981 (as amended), requiring your authority to re-consult Natural England.

Protected species

We have not assessed this application and associated documents for impacts on protected species.

Natural England has published Standing Advice on protected species.

You should apply our Standing Advice to this application as it is a material consideration in the determination of applications in the same way as any individual response received from Natural England following consultation.

The Standing Advice should not be treated as giving any indication or providing any assurance in respect of European Protected Species (EPS) that the proposed development is unlikely to affect

the EPS present on the site; nor should it be interpreted as meaning that Natural England has reached any views as to whether a licence is needed (which is the developer's responsibility) or may be granted.

If you have any specific questions on aspects that are not covered by our Standing Advice for European Protected Species or have difficulty in applying it to this application please contact us with details at consultations@naturalengland.org.uk.

Local sites

If the proposal site is on or adjacent to a local site, e.g. Local Wildlife Site, Regionally Important Geological/Geomorphological Site (RIGS) or Local Nature Reserve (LNR) the authority should ensure it has sufficient information to fully understand the impact of the proposal on the local site before it determines the application.

Sites of Special Scientific Interest Impact Risk Zones

The Town and Country Planning (Development Management Procedure) (England) Order 2015 requires local planning authorities to consult Natural England on "Development in or likely to affect a Site of Special Scientific Interest" (Schedule 4, w). Our SSSI Impact Risk Zones are a GIS dataset designed to be used during the planning application validation process to help local planning authorities decide when to consult Natural England on developments likely to affect a SSSI. The dataset and user guidance can be accessed from the data.gov.uk website

We would be happy to comment further should the need arise but if in the meantime you have any queries please do not hesitate to contact us.

For any queries regarding this letter, for new consultations, or to provide further information on this consultation please send your correspondences to consultations@naturalengland.org.uk.

We really value your feedback to help us improve the service we offer. We have attached a feedback form to this letter and welcome any comments you might have about our service.

Yours faithfully,
Jamie Clarkson
Consultations Team

From: Iain Farquharson
Sent: 30 January 2017 11:23
To: Planning Admin
Subject: M3. 189405: Consultation on Planning Application 0019/17

Dear Sir/Madam

We have reviewed the information provided for this application and are satisfied that the commitment to provide 10% energy reduction from renewables meets policy requirements.

We recommend that the 10% requirement is conditioned and suggest the following wording. Prior to first occupation of each building, evidence (e.g. photographs and As-Built certificates/calculations derived from the National Calculation Methodologies) which demonstrates that the development has been constructed in accordance with the required 10% energy reduction derived from renewable technology must be submitted to the Local Planning Authority and approved in writing. This condition applies to each individual property on the site whether constructed in phases or as a whole.

Iain Farquharson

Environmental Management Officer
Babergh Mid Suffolk Council

☎ 01449 724878
✉ iain.farquharson@babberghmidsuffolk.gov.uk

From: planningadmin@midsuffolk.gov.uk [<mailto:planningadmin@midsuffolk.gov.uk>]
Sent: 26 January 2017 11:00
To: Environmental Health
Subject: Consultation on Planning Application 0019/17

Correspondence from MSDC Planning Services.

Location: Land south of Gun Cotton Way, Stowmarket IP14 5UL

Proposal: Erection of B1 business use commercial buildings

We have received an application on which we would like you to comment. A consultation letter is attached. To view details of the planning application online please click [here](#)

We request your comments regarding this application and these should reach us

within 21 days. Please make these online when viewing the application.

The planning policies that appear to be relevant to this case are RT12, SDA8, CL8, NPPF, GP1, SDA7, Cor5, CSFR-FC3, H17, E2, E4, SDA6, SDA3, SDA4, CSFR-FC1, CSFR-FC1.1, Cor3, Cor4, E9, E12, CS SAAP, which can

be found in detail in the Mid Suffolk Local Plan.

We look forward to receiving your comments.

Emails sent to and from this organisation will be monitored in accordance with the law to ensure compliance with policies and to minimize any security risks. The information contained in this email or any of its attachments may be privileged or confidential and is intended for the exclusive use of the addressee. Any unauthorised use may be unlawful. If you receive this email by mistake, please advise the sender immediately by using the reply facility in your email software. Opinions, conclusions and other information in this email that do not relate to the official business of Mid Suffolk District Council shall be understood as neither given nor endorsed by Mid Suffolk District Council.



15 February 2017

Rebecca Biggs
Mid Suffolk District Council
Council Offices
131 High Street
Needham Market
Ipswich IP6 8DL

By email only

Dear Rebecca

Application: 0019/17

Location: Land south of Gun Cotton Way, Stowmarket

Proposal: Erection of B1 business use commercial buildings

Thank you for consulting Place Services on the above application.

Holding objection: There is insufficient ecological information available to understand the impacts of development on Priority habitats eg hedgerows and Priority species, particularly reptiles.

Indeed the Ecology report (Applied Ecology, Nov 2016) specifically recommends that a reptile survey of the site is required in order to confirm reptile species composition, relative abundance and location within the site. Reptile surveys can only be completed when reptiles are active between April and early October, with the months of April, May, June and September being the optimal times to complete reptile survey. The report also recommends that the boundary hedgerow should, where possible, be retained and protected as part of the development design. If this is not possible, replacement hedgerow planting will be required.

This additional information is necessary to inform an assessment of likely impacts on Priority Habitats and Species, and identify any mitigation measures needing to be secured.

As there is no confirmation of the likely impacts on reptiles (Priority species) and that this Priority habitat will be retained and enhanced within the development, there is still a gap in information which needs to be filled before determination of this application.

Please contact me with any queries.
Best wishes

Sue Hooton CEnv MCIEEM BSc (Hons)
Principal Ecological Consultant
Place Services at Essex County Council
sue.hooton@essex.gov.uk

Place Services provide ecological advice on behalf of Babergh and Mid Suffolk District Councils



Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.

From: planningconsultations [mailto:planningconsultations@nwl.co.uk]
Sent: 02 February 2017 09:40
To: Planning Admin
Subject: Planning Consultation Response - 0019/17

Our Ref: PC/17/049

Your Ref: 0019/17

F.A.O – Case Officer – Rebecca Biggs

Proposed: Erection of B1 business use commercial buildings

Address: Land south of Gun Cotton Way, Stowmarket, IP14 5UL

I acknowledge receipt of your email letter dated 26th January 2017 regarding the above.

This development is out of our area so I am not able to see where we have mains running around the area.

Should you require any further information, please do not hesitate to contact us.

Yours faithfully

Katie Pearce
Planning Consultations

Telephone: 01268 664249 Email: planningconsultations@nwl.co.uk

Sandon Valley House, Canons Barns Road,,
East Hanningfield, Essex, CM3 8BD
Telephone:

From: Nathan Pittam
Sent: 27 January 2017 11:23
To: Planning Admin
Subject: 0019/17/FUL. EH - Air Quality.

M3 : 189402
0019/17/FUL. EH - Air Quality.
Land south of, Gun Cotton Way, STOWMARKET, Suffolk.
Erection of B1 business use commercial buildings.

Many thanks for your request for comments in relation to the above application. Having reviewed the application I can confirm that I have no objection to the proposed development from the perspective of air quality.

Regards

Nathan

Nathan Pittam BSc. (Hons.) PhD
Senior Environmental Management Officer
Babergh and Mid Suffolk District Councils – Working Together
t: 01449 724715
m: 07769 566988
e: Nathan.pittam@baberghmidsuffolk.gov.uk
w: www.babergh.gov.uk www.midsuffolk.gov.uk

From: Infrastructure Team (Babergh Mid Suffolk)

Sent: 26 January 2017 13:11

To: Planning Admin

Subject: RE: Consultation on Planning Application 0019/17 - response from Infrastructure Team

This development, if approved, would attract Community Infrastructure Levy (CIL) at a rate of £0 m²

Kind Regards,

Nicola

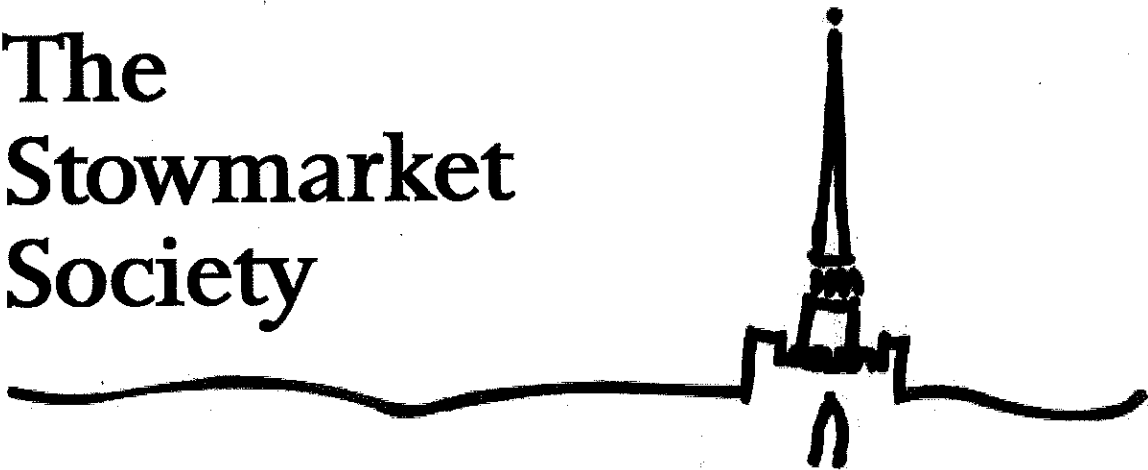
Nicola Parrish
Infrastructure Officer

Babergh and Mid Suffolk District Council – Working Together

Tel: 01449 724977

Mob: 07720899821

The Stowmarket Society



Planning Services
Mid Suffolk District Council
131 High Street
Needham Market
Ipswich
IP6 8DL

11 February 2017

Dear Sirs

0019/17 - Erection of B1 business use commercial buildings - Land south of Gun Cotton Way, Stowmarket IP14 5UL

We wish to register our objection to this proposal.

This application sho very limited ambition, which is all too clear from the Design and Access statement.

This site is very prominent and has a semi-residential setting, but the scheme proposed is for utilitarian metal-clad sheds set within a large and inevitably untidy and exposed yard. The front yard will without doubt become very untidy as it has in every other development of this nature. It would soon become an embarrassment.

We would suggest that a scheme in this location should embrace the following principles:

- Provide architectural quality that makes it a good neighbour to existing and proposed new development - the D&A statement should show how this has been thought through.
- A layout that places all open yards, servicing and most car parking at the rear of the building, or behind some screen walls.
- Adequate provision for waste bins, cycle parking and other operational needs.
- A landscape strategy, including positive provision along the spine road frontage.

It may be that the applicant's development model is not suited to this site, in which case they should propose one that is - the end result will be here for a long time and will affect the daily amenities of many people, and the image of the town.

We trust that the above points will be taken into account and look forward to seeing a revised scheme in due course.

Yours faithfully



J Pattle
Secretary